

**MINUTES OF APRIL 9, 2026
REGULAR MEETING
LONG BEACH PLANNING and DEVELOPMENT COMMISSION**

**AGENDA
APRIL 9, 2026
REGULAR MEETING OF THE PLANNING and DEVELOPMENT COMMISSION
CITY OF LONG BEACH, MISSISSIPPI
5:30 O'CLOCK P.M.
LONG BEACH CITY HALL
MEETING ROOM
201 JEFF DAVIS AVENUE**

I. CALL TO ORDER

II. INVOCATION AND PLEDGE OF ALLEGIANCE

III. ROLL CALL AND ESTABLISH QUORUM

IV. PUBLIC HEARINGS

1. Variance- 4416 Beatline Road, Tax Parcel 0512B-01-015.000, Submitted by Kirk Edrington.
2. Variance- 820 West Beach Blvd, Tax Parcel 0512I-01-050.001, Submitted by Justin Shaw, Shaw Homes, LLC.

V. ANNOUNCEMENTS

VI. APPROVE MINUTES

1. March 26, 2026

VII. UNFINISHED BUSINESS

1. Short-Term Rental- 121 East 2nd Street, Tax Parcel 0612B-03-016.000, Submitted by Lisa McDermed (owner) and Brian Logan/Bill Anderson (property managers).
2. Tree Removal- 109 Shelter Rock, Tax Parcel 0612F-02-043.000, Submitted by Edward Guillie.

VIII. NEW BUSINESS

1. Tree Removal- 20025 Patton Road, Tax Parcel 0511I-01-043.000, Submitted by Wayne and Margaret Marie.
2. Short-Term Rental- 313 A East 3rd Street, Tax Parcel 0612A-04-047.000, Submitted by Harold Peterson (owner) and Lori Strahan (property manager).
3. Short-Term Rental- 313 B East 3rd Street, Tax Parcel 0612A-04-047.000, Submitted by Harold Peterson (owner) and Lori Strahan (property manager).
4. Certificate of Resubdivision- 0 Commission Road, Tax Parcel 0611J-01-029.001, Submitted by Michael Levens.
5. Preliminary Plat Approval- Compass Cove- 20583 Johnson Road, Tax Parcel 0512B-01-029.000, Submitted by Timothy Deas, Deas Homes.

IX. DEVELOPMENT & RESEARCH

X. ADJOURN

*****NOTES*****

**All decisions made at this meeting are subject to a ten (10) day appeal for a Public Hearing and/or the Mayor and Board of Aldermen approval on April 21, 2026.

**The agenda for the Planning and Development Commission meeting closes at 12:00 O'clock (noon), and/or in accordance with applicable ordinances, the Thursday prior to the meeting day.

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Commissioner Joey King led the meeting in prayer.

Commissioner Philip LeBlanc read the Opening Statement for the Planning and Development Commission.

Be it remembered that two Public Hearings were heard before the Long Beach Planning and Development Commission, Long Beach, Mississippi, was begun at 5:30 o'clock p.m., Thursday, the 9th day of April 2026, in the Long Beach City Hall Meeting Room, 201 Jeff Davis Avenue, in said City, and the same being the time, date and place fixed for holding said Public Hearings.

There were present and in attendance on said Commission and at the Public Hearings the following named persons: Chairman David DiLorenzo, Vice Chairman Don Sterling, Commissioners Nicholas Brown, William Suthoff, Tim Dulaney, Joey King, Sean Hughes, Ray Baas, Jr, Philip LeBlanc, City Advisor Bill Hessel, Building Official Mike Gundlach, Building Inspector Shawn Barlow and Minutes Clerk Tina M. Dahl.

There being a quorum present and sufficient to transact the business of these Public Hearings, the following proceedings were had and done.

The first Public Hearing for discussion, a Variance for the property located at 4416 Beatline Road, Tax Parcel 0512B-01-015.000, submitted by Kirk Edrington, as follows:

MINUTES OF APRIL 9, 2026
REGULAR MEETING
LONG BEACH PLANNING and DEVELOPMENT COMMISSION



CITY OF LONG BEACH
201 Jeff Davis Avenue/ PO BOX 929
Long Beach, MS 39560
(228) 863-1554 office
(228) 863-1558 fax

Office use only
Date Received <u>3/9/26</u>
Zoning <u>R-1</u>
Agenda Date <u>4/9/26</u>
Check Number <u>CC</u>

VARIANCE REQUEST

- I. Tax Parcel Number(s): 0512B-01-015.000
- II. Address of Property Involved: 4116 Beatline Rd Long Beach, MS 39560

III. Statement clearly explaining the request being made. (Attach supplemental pages if necessary.)
Requesting a Variance from the Pedestrian Sidewalk requirement for this property. Installation of Sidewalk at this location would require covering existing drainage ditch, which would involve substantial additional construction, drainage modifications, and associated costs far beyond a standard sidewalk installation. This work would significantly impact natural flow of stormwater and require extensive site alteration.

****PLEASE COMPLETE THE FOLLOWING:**

A. Describe any special condition that justify the granting of this request and that are peculiar to the property and do not apply to other properties in the general area. What are the reasons for the request and why the applicant cannot meet the stated code requirement?
The property contains an existing open drainage ditch running along the frontage

B. Describe how the special condition discussed above is not the result of actions taken by the applicant. Show that the applicant did not cause the need for this request.
The existing open drainage ditch along the property frontage was installed as part of the original roadway and neighborhood drainage design and predates the ownership and development of the property. We did not create, alter, or modify the drainage configuration in any way that would necessitate.

C. Show that an unnecessary hardship exists due to the character of the property and that this hardship makes the request necessary. State what hardship is caused if the applicant is required to meet code requirements? What is the result of this hardship? What would result if the Zoning Board denied this request?
To install said sidewalk would require enclosing or rerouting the drainage ditch, which would involve significant excavation, engineering, permit, and potential stormwater reduction. This would result in substantial financial burden far beyond the cost of a typical sidewalk.

D. Show that denial of this request will deprive the applicant of rights commonly enjoyed by other properties in the general area and that the granting of this variance request will make possible the reasonable use of land while not conferring any special privilege. Outline how the subject of the variance is common in the area and if the applicant were to be denied this variance a right would be taken away which is granted to other properties. State how the variance makes reasonable use of the existing land and why the same action cannot be done in a way that does not require a variance. Show that granting of this variance does not give the applicant any special privileges that the properties in the area would find desirable.
Denial of variance request would effectively deprive the applicants of reasonable use and development rights commonly enjoyed by other similar situated property owners within same area. Because there are no sidewalks installed along street, other properties are not subject to the same.

**MINUTES OF APRIL 9, 2026
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IV. REQUIRED ATTACHMENTS:

- A. **Interest and Ownership.** The applicant's name, address and interest of every person, firm or corporation represented by the applicant in the application, the name of the owner or owners and their respective addresses of the entire land area proposed to be changed in classification or to be included within the structures then existing thereon, and sufficient evidence to establish that the applicant has the right of possession to the land area and structures, the names and address of all owners of adjacent property (exclusive of the width of intervening streets, alleys, or bodies of water). Claims of support or "no objection" from owners of adjoining property should be substantiated in writing or by the appearance of such owner(s) at the hearing. Such support is usually considered material but not conclusive.
- B. **Survey and Site Plan.** a site plan showing the land area which would be affected, easements bounding and intersecting the designated area, the locations of existing and proposed structures with supporting open facilities, and the ground area to be provided and continuously maintained for the proposed structure or structures;
- C. **Recorded Warranty Deed.** A deed which includes a legal description of the specific piece of property involved in the request. If, several parcels are included in a request, individual parcel deeds AND a composite legal description of all parcels involved in the request must be provided.
- D. **Fee.** Attach a check in the amount of \$200.00. This check should be made payable to the **City of Long Beach** to cover administrative cost. You will also be responsible to actual costs, such as advertising and mailing incurred with the processing of your application.

*****NOTE*** APPLICATION WILL NOT BE ACCEPTED WITHOUT THE ABOVE LISTED DOCUMENTS.**

V. OWNERSHIP AND CERTIFICATION:

READ BEFORE EXECUTING. Attendance by the applicant(s) at the public hearing is mandatory; however, the applicant may designate a representative to attend the public hearing on his/her behalf, provided said representative has been properly designated to speak on the applicant's behalf either by written permission or oral designation by the applicant at the Public Hearing. If a continuance is to be granted, the applicant must request same in writing a minimum of seven (7) days in advance of the scheduled public hearing. The applicant acknowledges that, in signing this application, all conditions and requirements inherent in the process have been fully explained and understood, including the timetable for processing the application, the completed application with all necessary documents and payments must be returned to the Planning office not later than 21 days before the 2nd or 4th Thursday of each month. Receipt of fee(s) does not constitute receipt of a completed application.

Ownership: I the undersigned due hereby agree to all the rules and regulations as set forth in the Long Beach Zoning Ordinance and also agree to pay all fees and charges as stated.

Kirk Edrington

Name of Rightful Owner (PRINT)

Name of Agent (PRINT)

14153 28th Street

Owner's Mailing Address

Agent's Mailing Address

Long Beach MS 39560

City State Zip

City State Zip

228-861-3040

Phone

Phone

Melvin H. H. H. *3/4/26*

Signature of Rightful Owner

Date

Melvin H. H. H. *3/4/26*

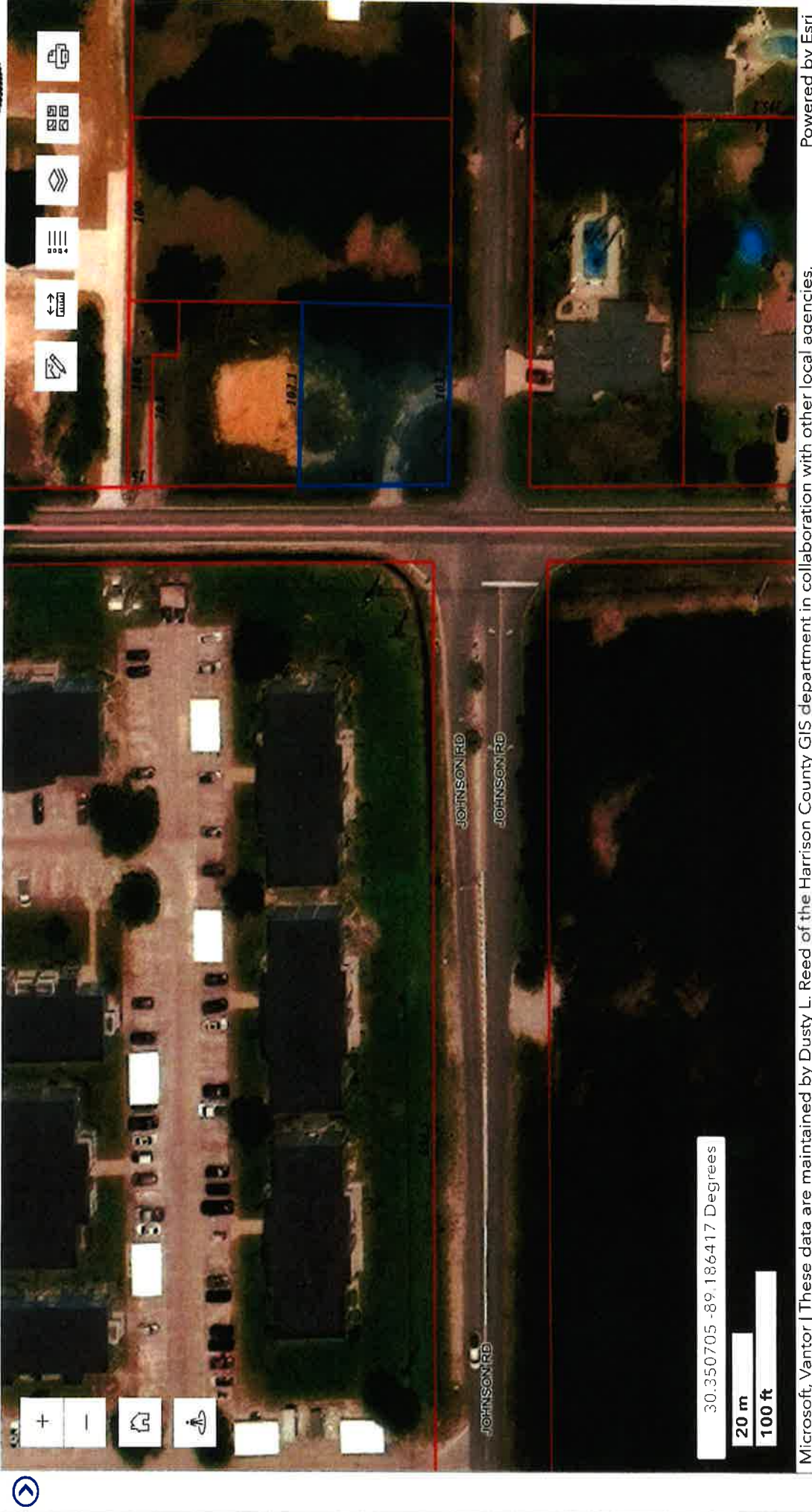
Signature of Applicant

Date

MINUTES OF APRIL 9, 2026
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LONG BEACH PLANNING and DEVELOPMENT COMMISSION



HARRISON COUNTY, MS
Property Search Application



Microsoft, Vantor | These data are maintained by Dusty L. Reed of the Harrison County GIS department in collaboration with other local agencies. Powered by Esri

MINUTES OF APRIL 9, 2026 REGULAR MEETING LONG BEACH PLANNING and DEVELOPMENT COMMISSION

SCANNED



1st JUDICIAL DISTRICT
Instrument 2026-0004168-0-11
Filed/Recorded 03/12/2024 12:10:01 PM
Total Fees 26.00
3 Pages Recorded

PREPARED BY AND RETURN TO:
David W. Jones, Attorney, PLLC
1605 Twenty-Third Avenue
Gulfport, MS 39501
(228) 864-8965 x2
File #749019

INDEXING INSTRUCTIONS:
2 parcels in part of 1 of 8,
R. Inglis Subdivision

STATE OF MISSISSIPPI
COUNTY OF HARRISON
FIRST JUDICIAL DISTRICT

WARRANTY DEED

FOR AND IN CONSIDERATION of the sum of Ten Dollars (\$10.00), cash in hand paid, and other good and valuable consideration, the receipt and sufficiency of all of which is hereby acknowledged, the undersigned, Owen R. McNally and Lindsay H. McNally, 20065 Commission Road, Apt. C, Long Beach, MS 39560, (228) 365-2500, do hereby sell, convey and warrant unto, Brian Kirk Edgington, 19453 -- 28th Street, Long Beach, MS 39560, (228) 861-3040, the following described land and property being located in the First Judicial District of Harrison County, Mississippi, being more particularly described as follows, to-wit:

PARCEL "A":

A parcel of land containing 0.215 acres, more or less, situated in Lot 8 of the R. Inglis Subdivision, Section 15, Township 8 South, Range 12 West, City of Long Beach, First Judicial District, Harrison County, Mississippi, described as follows:

Commencing at an iron rod set at the intersection of the North margin of Johnson Road and the East margin of Beatline Road, thence North 00 degrees 13 minutes 58 seconds West along said E-W margin 96.83 feet to an iron rod being the Point of Beginning; thence continue North 00 degrees 13 minutes 58 seconds West

along said East margin 96.81 feet to a iron nail; thence South 89 degrees 28 minutes 49 seconds East 70.75 feet to an iron rod; thence South 01 degrees 39 minutes 51 seconds East 15.15 feet to an iron rod; thence North 89 degrees 34 minutes 25 seconds East 29.99 feet to an iron rod, thence South 00 degrees 54 minutes 21 seconds East 82.29 feet to an iron rod; thence North 89 degrees 25 minutes 06 seconds West 102.10 feet to the Point of Beginning.

PARCEL "B":

A parcel of land containing 0.228 acres, more or less, situated in Lot 8 of the R. Inglis Subdivision, Section 15, Township 8 South, Range 12 West, City of Long Beach, First Judicial District, Harrison County, Mississippi, described as follows:

Commencing at an iron rod set at the intersection of the North margin of Johnson Road and the East margin of Beatline Road, being the Point of Beginning, thence North 00 degrees 13 minutes 58 seconds West along said East margin 96.83 feet to an iron rod; thence South 89 degrees 25 minutes 06 seconds East 102.10 feet to an iron rod, thence South 00 degrees 54 minutes 21 seconds East 96.85 feet to an iron rod set on the North margin of Johnson Road; thence North 89 degrees 25 minutes 06 seconds West along said North margin 103.23 feet to the Point of Beginning.

THIS CONVEYANCE is subject to any and all recorded restrictive covenants, rights-of-way and easements applicable to subject property, and subject to any and all prior recorded reservations, conveyances and leases of oil, gas and minerals by previous owners.

AD VALOREM TAXES for the current year have been provided and are hereby assumed by the Grantee herein.

WITNESS OUR SIGNATURES, on March 7, 2024.

Owen R. McNally
Owen R. McNally

Lindsay H. McNally
Lindsay H. McNally

STATE OF MISSISSIPPI
COUNTY OF HARRISON

THIS DAY PERSONALLY CAME AND APPEARED BEFORE ME, the undersigned authority in and for the jurisdiction aforesaid, Owen R. McNally and Lindsay H. McNally, who acknowledged that the above and foregoing instrument was signed and delivered as the free and voluntary act and deed of the Grantees on the day and in the year therein mentioned.

GIVEN UNDER MY HAND AND OFFICIAL SEAL OF OFFICE on March 7, 2024.

My Commences Expires
January 8, 2025



NOTARY PUBLIC

The Clerk reported that five (5) notices of public hearing were sent by regular mail to property owners within one hundred sixty feet (160') of the subject property. Notices were also posted on the bulletin boards at City Hall, the Building Official's Office, and the Water Department, 201 Jeff Davis Avenue and the Long Beach Public Library, 209 Jeff Davis Avenue; said notice was ordered as part of these proceedings:

MINUTES OF APRIL 9, 2026 REGULAR MEETING LONG BEACH PLANNING and DEVELOPMENT COMMISSION



LEGAL NOTICE PUBLIC MEETING

In accordance with Section 4 of the City of Long Beach Sidewalk Ordinance 587 as amended by Ordinance 615, 616 and 647, notice is hereby given advising that the Planning and Development Commission for the City of Long Beach will hold a Public Meeting for the purpose of considering a Variance.

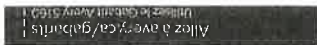
Kirk Edrington, 19453 28th Street, Long Beach, MS, 39560, has filed an application for a Variance in accordance with the Long Beach Sidewalk Ordinance. The applicant is requesting a Variance from the placement of a sidewalk on a newly developed lot. The location of the requested Variance is 4416 Beatline Road, Tax Parcel 0512B 01-015 000. The legal description is as follows.

BEG AT INTER OF BEATLINE RD & JOHN-SON RD N 96.8 FT E 102.1 FT S 96.9 FT TO N MAR OF JOHNSON RD W 103.2 FT ALONG RD TO POB PART OF LOT 8 R INGLIS SUB IN NW 1/4 OF NW 1/4 OF SEC 15-8-12

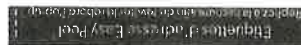
A public meeting to consider the above Variance will be held in the City of Long Beach, Mississippi, 39560, Thursday, April 9, 2026, at 5:30 p.m., in the Long Beach City Hall Meeting Room located at 201 Jeff Davis Avenue. The city encourages all residents, groups and organizations to contact the city if they have any questions concerning the Variance.

/s/ signed
Chairman
Planning Commission

201 Jeff Davis • PO Box 929 • Long Beach, MS 39560 • (228) 863-1556 • FAX (228) 863-0622
www.cityoflongbeach.ms



Austin Bignoli
20592 Johnson Road
Long Beach, MS 39560



Hodges David Ray -Etal-
20588 Johnson Road
Long Beach, MS 39560



Lewis Andrew and Kelly Ciera
4426 Beatline Road
Long Beach, MS 39560

A- Strategy 5 LLC
826 Ivy Wall Drive
Houston, TX 77079

TCB Stop N' Geaux of Long Beach LLC
16303 Hwy 53
Gulfport, MS 39503

AFFIDAVIT

STATE OF MISSISSIPPI
COUNTY OF HARRISON
CITY OF LONG BEACH

BEFORE ME, the undersigned legal authority authorized to administer oaths in and for the jurisdiction aforesaid, on this day personally appeared before me, EMMA WARD DAHL, known to me to be the Minutes Clerk of the City of Long Beach, Mississippi, Planning Commission, who being by me first duly sworn, deposes and says on oath as follows, to-wit:

- That she is the duly appointed and acting Minutes Clerk of the City of Long Beach, Mississippi Planning Commission;
- That in such capacity, she is responsible for mailing Notices of Public Meeting for the purpose of notifying property owners within One Hundred Sixty Feet (160') of the subject property, when applications for zoning map changes, variances, appeals, etc., are filed, all as stipulated in Ordinance Number 598 of the City of Long Beach; and other matters pertaining to such public meetings and the business of the Planning Commission in and for the City of Long Beach;
- That on March 16, 2026, she did cause to be mailed, Notice of Public Meeting, a copy of which is attached hereto, to 5 (five) property owners within 160' (one hundred sixty feet), excluding rights of way, of Tax Parcel Number 0512B-01-015 (00), notifying them that a Public Meeting will be held, Thursday, April 9, 2026, to consider an application for a Variance filed by Kirk Edrington.

Given under my hand this 16th of March 2026.

EMMA WARD, AFFIANI

SWORN TO AND SUBSCRIBED before me on this the 16th day of March 2026.

NOTARY PUBLIC



-My Commission Expires-



**MINUTES OF APRIL 9, 2026
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The Clerk reported that she did cause to be published in the Gazebo Gazette, a newspaper with general circulation in the City of Long Beach, and published in Harrison County, Legal Notice of Public Hearing, as evidenced by the Publisher's Proof of Publication as follows:

Proof of Publication

	<p>STATE OF MISSISSIPPI COUNTY OF HARRISON</p> <p>PERSONALLY appeared before me the undersigned notary in and for said County and State, HUNTER DAWKINS, publisher of THE GAZEBO GAZETTE, a newspaper printed and published in Harrison County, who being duly sworn, deposes and says the publication of this notice hereunto attached has been made in the said publication _____ weeks in the following numbers and on the following dates of such paper:</p> <p>of No. 11 dated 17 day of _____, 20__ of No. _____ dated _____ day of _____, 20__ of No. _____ dated _____ day of _____, 20__ of No. _____ dated _____ day of _____, 20__ of No. _____ dated _____ day of _____, 20__ of No. _____ dated _____ day of _____, 20__ of No. _____ dated _____ day of _____, 20__ of No. _____ dated _____ day of _____, 20__</p> <p>Affiant further states on oath that said newspaper has been established and published continuously in said county for period of more than twelve months prior to the first publication of said notice.</p> <p style="text-align: right;">_____ Publisher</p> <p>Sworn to and subscribed before me this 10th day of March, A.D. 2026</p> <p style="text-align: right;">_____ Notary Public</p> <p style="text-align: center;"></p>
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Chairman DiLorenzo asked for anyone speaking in favor or opposition and no one came forward.

Commissioner Suthoff made motion, seconded by Vice Chairman Sterling and unanimously carried to close the Public Hearing.

After considerable discussion, Vice Chairman Sterling made motion, seconded by Commissioner Suthoff and unanimously carried recommending to approve the application as submitted.

The second Public Hearing for discussion, a Variance for the property located at 820 West Beach Blvd, Tax Parcel 0512I-01-050.001, submitted by Justin Shaw, Shaw Homes, LLC, as follows:

**MINUTES OF APRIL 9, 2026
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LONG BEACH PLANNING and DEVELOPMENT COMMISSION**



CITY OF LONG BEACH
201 Jeff Davis Avenue/ PO BOX 929
Long Beach, MS 39560
(228) 863-1554 office
(228) 863-1558 fax

Office use only	
Date Received	3-16-26
Zoning	R-3
Agenda Date	4-9-26
Check Number	1802

VARIANCE REQUEST

- I. Tax Parcel Number(s): 05121-01-050.001
- II. Address of Property Involved: 820^N Beach Blvd Long Beach, MS 39560
- III. Statement clearly explaining the request being made. (Attach supplemental pages if necessary.)
I am seeking for this lot's western setbacks to be changed from 14' to 8' to comply with standard R-3 zoning requirements.

****PLEASE COMPLETE THE FOLLOWING:**

- A. Describe any special condition that justify the granting of this request and that are peculiar to the property and do not apply to other properties in the general area. What are the reasons for the request and why the applicant cannot meet the stated code requirement? The original developer had 14' side yd setbacks this is the combined lots 1+2, Seashore cottages into 1 lot. The lot on house does have house on lot line so I do not need a change for it. I do request a variance to move west lot setbacks from 14' down to 8'. The house to east is 8' off the lot and would still leave over 16' of spacing.
- B. Describe how the special condition discussed above is not the result of actions taken by the applicant. Show that the applicant did not cause the need for this request. Land was split by previous builder. Having 14' setbacks on both sides will force house to be narrow and small. It will have to be about 20' high so extra width will also add stability
- C. Show that an unnecessary hardship exists due to the character of the property and that this hardship makes the request necessary. State what hardship is caused if the applicant is required to meet code requirements? What is the result of this hardship? What would result if the Zoning Board denied this request? The 14' setbacks on both sides will cause house to be smaller. I only need west setback moved to standard R-3 zone of 8' and it will still comply with code. If requests is denied, I may have to build smaller or just build two tiny townhomes.
- D. Show that denial of this request will deprive the applicant of rights commonly enjoyed by other properties in the general area and that the granting of this variance request will make possible the reasonable use of land while not conferring any special privilege. Outline how the subject of the variance is common in the area and if the applicant were to be denied this variance a right would be taken away which is granted to other properties. State how the variance makes reasonable use of the existing land and why the same action cannot be done in a way that does not require a variance. Show that granting of this variance does not give the applicant any special privileges that the properties in the area would find desirable. Standard R-3 zoning allows 8' setbacks I only need west side moved to 8' and it will match neighbors 8' from line. I would prefer to build a nice single family residence.

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IV. REQUIRED ATTACHMENTS:

- A. **Interest and Ownership.** The applicant's name, address and interest of every person, firm or corporation represented by the applicant in the application, the name of the owner or owners and their respective addresses of the entire land area proposed to be changed in classification or to be included within the structures then existing thereon, and sufficient evidence to establish that the applicant has the right of possession to the land area and structures, the names and address of all owners of adjacent property (exclusive of the width of intervening streets, alleys, or bodies of water). Claims of support or "no objection" from owners of adjoining property should be substantiated in writing or by the appearance of such owner(s) at the hearing. Such support is usually considered material but not conclusive.
- B. **Survey and Site Plan.** a site plan showing the land area which would be affected, easements bounding and intersecting the designated area, the locations of existing and proposed structures with supporting open facilities, and the ground area to be provided and continuously maintained for the proposed structure or structures;
- C. **Recorded Warranty Deed.** A deed which includes a legal description of the specific piece of property involved in the request. If, several parcels are included in a request, individual parcel deeds AND a composite legal description of all parcels involved in the request must be provided.
- D. **Fee.** Attach a check in the amount of \$200.00. This check should be made payable to the **City of Long Beach** to cover administrative cost. You will also be responsible to actual costs, such as advertising and mailing incurred with the processing of your application.

*****NOTE*** APPLICATION WILL NOT BE ACCEPTED WITHOUT THE ABOVE LISTED DOCUMENTS.**

V. OWNERSHIP AND CERTIFICATION:

READ BEFORE EXECUTING. Attendance by the applicant(s) at the public hearing is mandatory; however, the applicant may designate a representative to attend the public hearing on his/her behalf, provided said representative has been properly designated to speak on the applicant's behalf either by written permission or oral designation by the applicant at the Public Hearing. If a continuance is to be granted, the applicant must request same in writing a minimum of seven (7) days in advance of the scheduled public hearing. The applicant acknowledges that, in signing this application, all conditions and requirements inherent in the process have been fully explained and understood, including the timetable for processing the application, the completed application with all necessary documents and payments must be returned to the Planning office not later than 21 days before the 2nd or 4th Thursday of each month. Receipt of fee(s) does not constitute receipt of a completed application.

Ownership: I the undersigned due hereby agree to all the rules and regulations as set forth in the Long Beach Zoning Ordinance and also agree to pay all fees and charges as stated.

Justin Shaw (Shaw Homes LLC)

Name of Rightful Owner (PRINT)

Name of Agent (PRINT)

640 Klondyke Rd.

Owner's Mailing Address

Agent's Mailing Address

Long Beach MS 39560

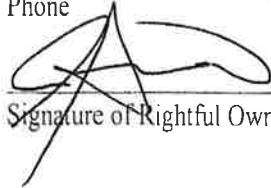
City State Zip

City State Zip

228-326-7183

Phone

Phone



Signature of Rightful Owner

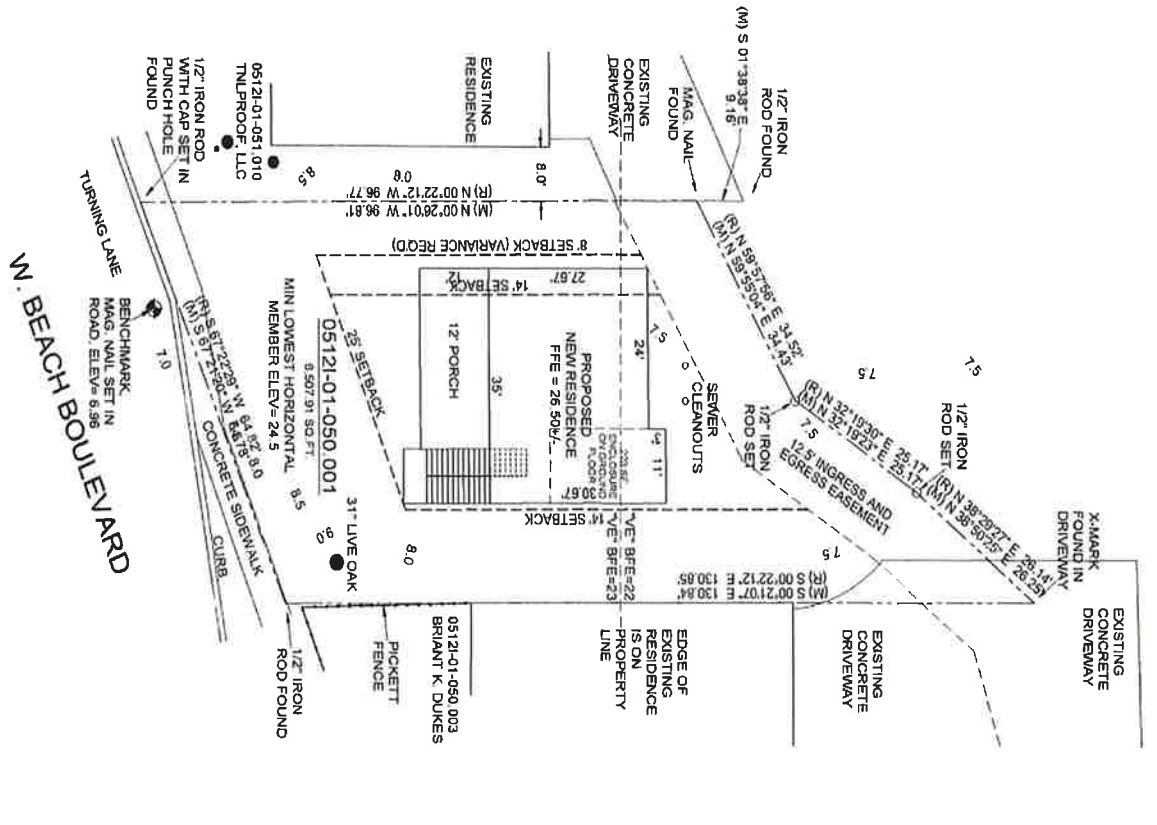
Date

Signature of Applicant

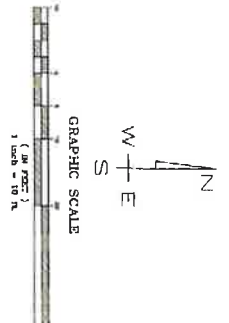
Date

**MINUTES OF APRIL 9, 2026
REGULAR MEETING
LONG BEACH PLANNING and DEVELOPMENT COMMISSION**

SITE PLAN



SCALE 1" = 10'-0"



MAG NAIL SET IN TURN LANE
ELEV. = 6.96
OF PROPERTY

BOUNDARY BASED ON SURVEY BY CROSS SURVEYING, TOPOGRAPHIC INFORMATION BASED ON THE SAME. SUBJECT PROPERTY LIES WITHIN "VE 27' & VE 22" FLOOD ZONE PER FEMA PANEL 280470358G DATED JUNE 16, 2009.

SITE DATA TABLE

ACREAGE: 0.149 +/-
ZONING: R-3
SETBACKS:
FYSB - 25 FT
SYSB - 8 FT
RYSB - 10 FT

NOTE: 14 FOOT SIDE YARD SETBACKS SHOWN ARE BASED ON PRIOR PLAT REQUIREMENT. SETBACKS SHOWN ABOVE ARE BASED ON CITY OF LONG BEACH'S ZONING ORDINANCE.



TERRY NORMAN
ENGINEERING
P.O. BOX 4275
BILLOXI, MS 39264
PH: 228.386.4733
FAX: 228.386.6706
TERRY@TNE.COM
TNE - LLC

In Association With

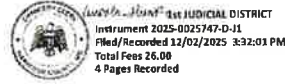
FA FOUNTAIN & ASSOCIATES
CIVIL AND COMMERCIAL DESIGN
2318 Pass Road, Unit 3
Biloxi, MS 39531
228-574-3659

Date: 03-11-2026
Drawn By: EDE
Checked By: JMM
REV

PROPOSED RESIDENCE
820 W BEACH BLVD
LONG BEACH, MS

Sheet
C1

**MINUTES OF APRIL 9, 2026
REGULAR MEETING
LONG BEACH PLANNING and DEVELOPMENT COMMISSION**



Indexing: Lots 1 & 2, Seashore Cottages S/D

STATE OF MISSISSIPPI
COUNTY OF HARRISON
FIRST JUDICIAL DISTRICT

Prepared by and return to:
David B. Esten
MS Bar No. 101404
Integrity Lund Title, L.L.C.
1806 23rd Avenue, Suite A
Gulfport, MS 39501
(228)896-8962
File#5527

WARRANTY DEED

FOR AND IN CONSIDERATION of the sum of Ten Dollars (\$10.00) cash in hand paid, and other good and valuable considerations, the receipt and sufficiency of all of which is hereby acknowledged, the undersigned,

PAUL DETIVEAUX
4640 W BEACH BLVD. UNIT C-4
GULFPORT, MS 39501
(210)781-1381

does hereby **SELL, CONVEY** and **WARRANT** unto

SHAW HOMES, LLC
A MISSISSIPPI LIMITED LIABILITY COMPANY
640 KLONDYKE RD.
LONG BEACH, MS 39560
(228)326-7183

the following described land together with all improvements thereon located in First Judicial District of Harrison County, Mississippi, more particularly described as follows, to-wit:

SEE EXHIBIT "A"

THE ABOVE described property is no part of the homestead of the Grantors nor any part thereof.

THIS CONVEYANCE is subject to any and all easements, restrictive or protective covenants, rights-of-way, zoning ordinances and reservations affecting said property of record.

TAXES for the year 2025 are hereby prorated and the same are hereby assumed by the Grantee herein. It is agreed and understood that the taxes for the current year have been prorated as of this date on an estimated basis, and that when said taxes are actually determined, if the proration as of this date is incorrect, the parties herein agree to pay on a basis of an actual proration. All subsequent years' taxes are specifically assumed by Grantee herein.

WITNESS my signature this the 1st day of December, 2025.

PAUL DETIVEAUX

STATE OF MISSISSIPPI
COUNTY OF HARRISON

Personally appeared before me, the undersigned authority in and for the said county and state on this the 1st day of December, 2025 within my jurisdiction, the within named **PAUL DETIVEAUX**, who acknowledged that he executed the above and foregoing instrument.

NOTARY PUBLIC

(SEAL)

My Commission Expires:




EXHIBIT "A"

Lots 1 and 2, Seashore Cottages Subdivision, a subdivision according to a map or plat thereof on file and of record in the Office of the Chancery Clerk of the First Judicial District of Harrison County, Mississippi, in Plat Book 57, at Page 43, reference to which is hereby made in aid of and as a part of this description.

**MINUTES OF APRIL 9, 2026
REGULAR MEETING
LONG BEACH PLANNING and DEVELOPMENT COMMISSION**

MINUTES OF MARCH 9, 2017
PLANNING COMMISSION

201

	<p>CITY OF LONG BEACH 201 Jeff Davis Avenue PO BOX 929 LONG BEACH, MS 39560 (228) 863-1554 office (228) 863-1558 fax</p>	<table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <td style="text-align: center;">Office use only</td> </tr> <tr> <td>Date Received <u>3/1/2017</u></td> </tr> <tr> <td>Zoning <u>R-3</u></td> </tr> <tr> <td>Agenda Date <u>3/9/2017</u></td> </tr> <tr> <td>Check Number <u>1075</u></td> </tr> </table>	Office use only	Date Received <u>3/1/2017</u>	Zoning <u>R-3</u>	Agenda Date <u>3/9/2017</u>	Check Number <u>1075</u>
Office use only							
Date Received <u>3/1/2017</u>							
Zoning <u>R-3</u>							
Agenda Date <u>3/9/2017</u>							
Check Number <u>1075</u>							
<p>I. TYPE OF CASE: SKETCH APPROVAL</p>							
<p>II. ADVALOREM TAX PARCEL NUMBER(S): <u>0512I-01-030.001 and 0512I-01-050.000</u></p>							
<p>III. GENERAL LOCATION OF PROPERTY INVOLVED: <u>Parcels located on HW 90 between S Seashore & Breaux Dr</u></p>							
<p>IV. ADDRESS OF PROPERTY INVOLVED: <u>818 W Beach Blvd and 820 W Beach Blvd</u></p>							
<p>A. The purpose of the sketch is to develop a general design on which to base the preliminary and final plat, and thus having to revise such design to make in conform to the comprehensive City plan and to relate it to surrounding development. To this end, the sub-divider should consult informally with the City Engineer and the Planning Commission on preparation of the sketch plat.</p>							
<p>B. The sub-divider shall submit to the Planning Commission the sketch plat of the proposed subdivision, together with the attendant items, fifteen (15) days prior to the Planning Commission meeting at which the sketch plat is to be approved. The sketch plat shall be reviewed by the Planning Commission and approved by the Mayor and Board of Aldermen. The review shall take into consideration, in addition to the requirements set forth in these regulations, the components of the comprehensive City plan, the zoning ordinance and other plans, programs and regulations that might affect the area and the design and development of the subdivision.</p>							
<p>C. The sub-divider must submit a general layout drawing of the proposed subdivision or development. The sketch plat should indicate location of the subdivision, street alignment and lot sizes, and should provide additional information that is deemed reasonably necessary within the scope the Subdivision Ordinance by the City. (1) The sketch plat should consist of three (3) full-size drawings on 24 x 36 inch sheets and (1) 8 1/2 x 14 and/or emailed in pdf. format to the Clerk.</p>							
<p>D. The Planning Commission shall inform the sub-divider that the Sketch plan as submitted or as modified does or does not meet the objectives of City Regulations. When the Planning Commission or the Mayor and Board find that the sketch plat does not meet the objectives of City regulations the reasons therefore shall be given, together with any changes recommended to be made. In the even the sub-divider does not agree to changes recommended by the Planning Commission, he may request and shall receive review and formal action by the Mayor and Board of Aldermen at its next regular meeting.</p>							
<p>E. Although not recommended, a developer may be allowed to combine the Sketch and Preliminary plats so that they may be considered together.</p>							
<p>V. REQUIRED ATTACHMENTS:</p>							
<p>A. Interest and Ownership. The applicant's name, address and interest of every person, firm or corporation represented by the applicant in the application, the name of the owner or owners and their respective addresses of the entire land area proposed to be changed in classification or to be included within the structures then existing thereon, and sufficient evidence to establish that the applicant has the right of possession to the land area and structures, the names and address of all owners of adjacent property (exclusive of the width of intervening streets, alleys, or bodies of water).</p>							

MINUTES OF APRIL 9, 2026
REGULAR MEETING
LONG BEACH PLANNING and DEVELOPMENT COMMISSION

202

MINUTES OF MARCH 9, 2017
PLANNING COMMISSION

- B. **Recorded Warranty Deed.** A deed which includes a legal description of the specific piece of property involved in the request. If several parcels are included in a request, individual parcel deeds AND a composite legal description of all parcels involved in the request must be provided.
- C. **Fee.** Attach a check in the amount of \$50.00. This check should be made payable to the City of Long Beach to cover administrative cost. You will also be responsible to actual costs, such as advertising and mailing incurred with the processing of your application.

*****NOTE*** APPLICATION WILL NOT BE ACCEPTED WITHOUT THE ABOVE LISTED DOCUMENTS.**

VI. **OWNERSHIP AND CERTIFICATION:**

READ BEFORE EXECUTING. Attendance by the applicant(s) at the public hearing is mandatory; however, the applicant may designate a representative to attend the public hearing on his/her behalf, provided said representative has been properly designated to speak on the applicant's behalf either by written permission or oral designation by the applicant at the Public Hearing. If a continuance is to be granted, the applicant must request same in writing a minimum of seven (7) days in advance of the scheduled public hearing. The applicant acknowledges that, in signing this application, all conditions and requirements inherent in the process have been fully explained and understood, including the timetable for processing the application, the completed application with all necessary documents and payments must be returned to the Planning office not later than fifteen (15) days before the 2nd or 4th Thursday of each month. Receipt of fee(s) does not constitute receipt of a completed application.

Ownership: I the undersigned do hereby agree to all the rules and regulations as set forth in the Long Beach Zoning Ordinance and also agree to pay all fees and charges as stated.

[Signature]
Name of Rightful Owner (PRINT)
830 West Beach Blvd
Owner's Mailing Address
Long Beach, MS 39056
City State Zip
601-906-7409
Phone
[Signature] 3-1-17
Signature of Rightful Owner Date

Name of Agent (PRINT)

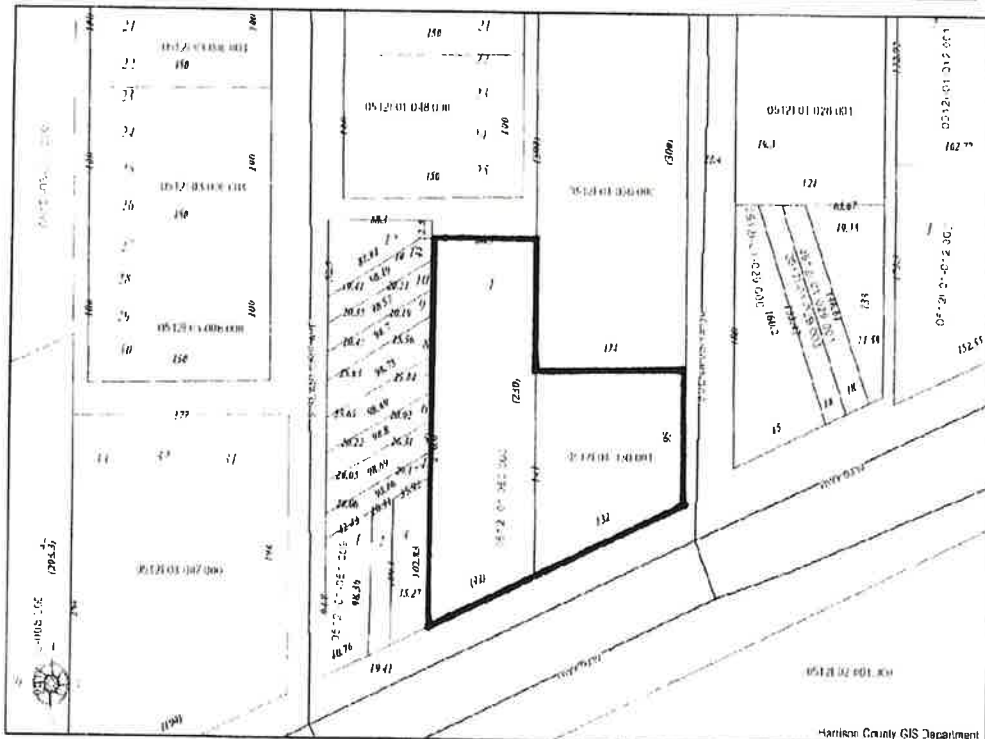
Agent's Mailing Address

City State Zip

Phone

Signature of Applicant Date

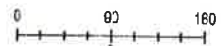
818 & 820 WEST BEACH BLVD - TAX PARCEL 05121-01-030.001 & 05121-01-050.00



HARRISON COUNTY, MISSISSIPPI

DISCLAIMER: THIS MAP IS FOR PROPERTY TAX ASSESSMENT PURPOSES ONLY. IT WAS CONDUCTED FROM PROPERTY INFORMATION RECEIVED IN THE OFFICE OF THE REGISTER OF DEEDS AND IS NOT CONCLUSIVE AS TO LOCATION OF PROPERTY OR LEGAL OWNERSHIP BY A PROPERTY TAX ASSESSOR.

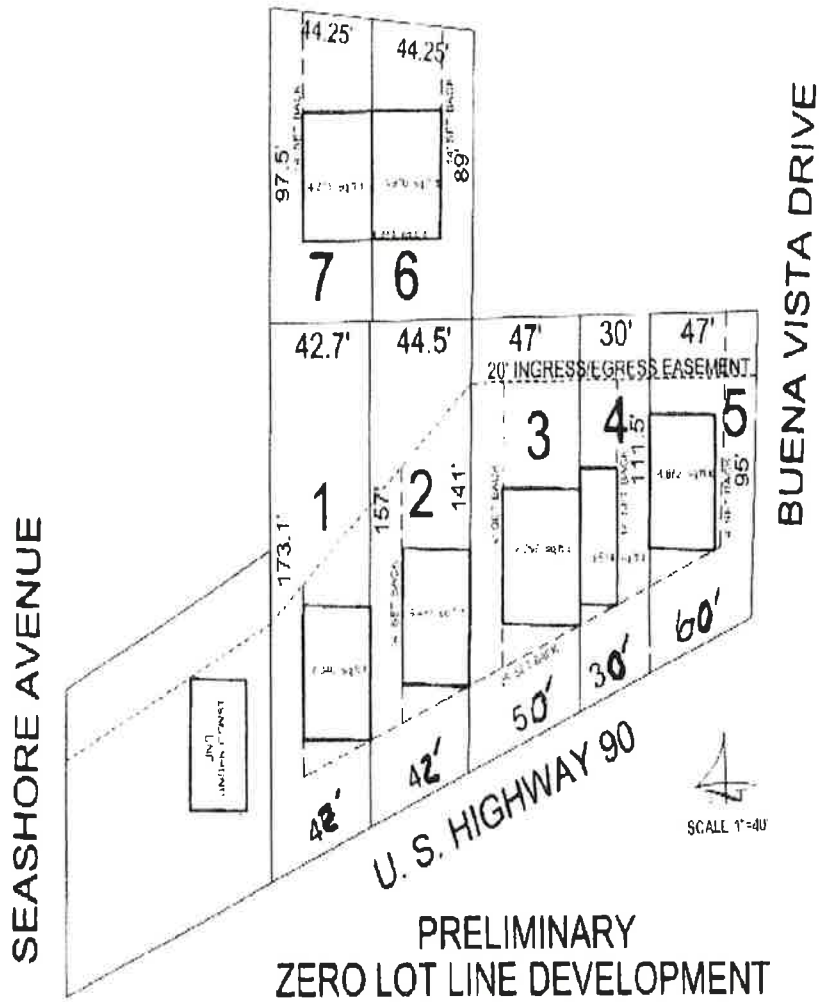
MAP DATE: March 9 2017



**MINUTES OF APRIL 9, 2026
REGULAR MEETING
LONG BEACH PLANNING and DEVELOPMENT COMMISSION**

MINUTES OF MARCH 9, 2017
PLANNING COMMISSION

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After review and discussion of the sketch, Commissioner Carrubba made motion seconded by Commissioner Brown and unanimously carried recommending approval of the sketch, noting clarification is needed from Planning Commission Advisor Bill Hessell in regards to the ingress / egress for lots 6 (six) and 7 (seven).

It came for approval removal of a Magnolia tree for property located at 139 Richards Avenue, tax parcel # 0711M-03-032.001 submitted by Stephanie May as follows:

MINUTES OF APRIL 9, 2026 REGULAR MEETING LONG BEACH PLANNING and DEVELOPMENT COMMISSION

The Clerk reported that twelve (12) notices of public hearing were sent by regular mail to property owners within one hundred sixty feet (160') of the subject property. Notices were also posted on the bulletin boards at City Hall, the Building Official's Office, and the Water Department, 201 Jeff Davis Avenue, and at the Long Beach Public Library, 209 Jeff Davis Avenue; said notice was ordered as part of these proceedings:



LEGAL NOTICE PUBLIC HEARING

In accordance with Article V of the Comprehensive Long Beach Unified Land Ordinance 598 of the City of Long Beach, Mississippi (2013) as amended, notice is hereby given advising that the Planning and Development Commission for the City of Long Beach will hold a Public Hearing for the purpose of considering a Variance.

Justin Shaw, Shaw Homes, LLC, 640 Honeye Road, Long Beach, MS, 39560, has filed an application for a Variance in accordance with the Comprehensive Long Beach Unified Land Ordinance. The applicant is requesting "am seeking for this lot's western setbacks to be changed from 34 to 8' to comply with standard R-3 zoning requirements." The city's setbacks as adopted for Seashore Cottages Subdivision are 14 feet on the western side per approved final Plat dated October 24, 2021. The location of the request is 820 West Beach Blvd, Tax Parcel 0533-01-050-001. The legal description is as follows:

LOTS 1 & 2 SEASHORE COTTAGES SUBD SEC 22-8-14

A Public Hearing to consider the above Variance request will be held in the City of Long Beach, Mississippi, 1950, April 9, 2026, at 5:30 p.m. in the Long Beach City Hall Meeting Room located at 261 Jeff Davis Avenue. The city encourages all residents, groups and organizations to contact the city if they have any questions concerning the petition.

/s/ signed
Chairman
Planning and Development Commission

201 Jeff Davis • P.O. Box 429 • Long Beach, MS 39560 • (601) 663-1556 • FAX (601) 665-0822
www.cityoflongbeach.ms.gov

Dukes Briant K 820 West Beach Blvd Unit 3 Long Beach, MS 39560	Xu Hong 820 West Beach Blvd Unit 4 Long Beach, MS 39560	Worley Allen and Gay 198 Winchester Drive Poplar Bluff, MO 63001
Lomas Stephen and Melissa G 827 Arbor Station Drive Long Beach, MS 39560	Megalopolis Enterprise Companies 929 Division Street Unit A Biloxi, MS 39530	TNL Proof LLC 830 West Beach Blvd Unit 2 Long Beach, MS 39560
Ginsberg Jordan S and Bradford 3228 Laurel Street New Orleans, LA 70115	898 Gulfside, LLC 4704 East St. Bernard Hwy Meraux, LA 70075	Goens David M and Terrie D 314 South Seashore Avenue Long Beach, MS 39560
Scush James W Jr 105 Welove Drive Thibodaux, LA 70301	Landreth Laurel 2343 Anriestor Oaks Drive Gulfport, MS 39507	Curio Investments LLC 929 Division Street Unit A Biloxi, MS 39530

AFFIDAVIT

STATE OF MISSISSIPPI
COUNTY OF HANCOCK
CITY OF LONG BEACH

BEFORE ME, the undersigned, being a duly authorized to administer oaths in and for the State of Mississippi, on this day personally appeared before me, EMMA WARD, DAHL, a person known to me to be the Minutes Clerk of the City of Long Beach, Mississippi Planning Commission, who being by me first duly sworn, deposes and says in oath as follows, to-wit:

- That she is the duly appointed and acting Minutes Clerk of the City of Long Beach, Mississippi Planning Commission;
- That in such capacity, she is responsible for mailing Notices of Public Meeting for the purpose of notifying property owners within One Hundred Sixty Four (160) feet of the subject property, when applications for zoning map changes, variances, appeals, etc., are filed, it is stipulated in Ordinance Number 298 of the City of Long Beach and other matters pertaining to such public meetings; and the truthfulness of the Planning Commission in and for the City of Long Beach;
- That on March 7, 2026, she did cause to be mailed, Notice of Public Meeting, a copy of which is attached hereto, to twelve (12) property owners within 160 (one hundred sixty feet) excluding right-of-way, of Tax Parcel Number 0533-01-050-001, notifying them that a Public Meeting will be held, Tuesday, April 9, 2026, to consider an application for a Variance filed by Justin Shaw, Shaw Homes, LLC.

Given under my hand this 17th of March 2026

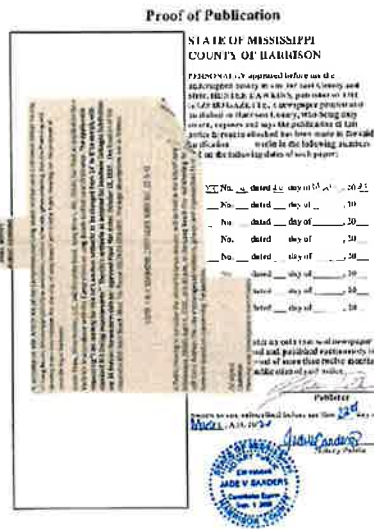
Emma Ward
EMMA WARD, AFFIDANT

SWORN TO AND SUBSCRIBED before me on this 17th day of March 2026

Nick Guillot
My Commission Expires: **NOVEMBER 01, 2027**
NOTARY PUBLIC

**MINUTES OF APRIL 9, 2026
REGULAR MEETING
LONG BEACH PLANNING and DEVELOPMENT COMMISSION**

The Clerk reported that she did cause to be published in the Gazebo Gazette, a newspaper with general circulation in the City of Long Beach, and published in Harrison County, Legal Notice of Public Hearing, as evidenced by the Publisher's Proof of Publication as follows:



Chairman DiLorenzo asked for anyone speaking in favor or opposition and no one came forward.

Commissioner Suthoff made motion, seconded by Commissioner Brown and unanimously carried to close the Public Hearing.

After considerable discussion, Commissioner Suthoff made motion, seconded by Commissioner Baas, Jr. and unanimously carried recommending to approve the application as submitted.

Be it remembered that a Regular Meeting before the Long Beach Planning and Development Commission, Long Beach, Mississippi, was begun at 5:30 o'clock p.m., Thursday, the 9th day of April 2026, in the Long Beach City Hall Meeting Room, 201 Jeff Davis Avenue, in said City, and the same being the time, date and place fixed for holding said Regular Meeting.

There were present and in attendance on said Commission and at the Regular Meeting the following named persons: Chairman David DiLorenzo, Vice Chairman Don Sterling, Commissioners Nicholas Brown, William Suthoff, Tim Dulaney, Joey King, Sean Hughes, Ray Baas, Jr, Philip LeBlanc, City Advisor Bill Hessell, Building Official Mike Gundlach, Building Inspector Shawn Barlow and Minutes Clerk Tina M. Dahl.

**MINUTES OF APRIL 9, 2026
REGULAR MEETING
LONG BEACH PLANNING and DEVELOPMENT COMMISSION**

There being a quorum present and sufficient to transact the business of this Regular Meeting, the following proceedings were had and done.

Commissioner Suthoff made motion, seconded by Commissioner Brown and unanimously carried to approve the Regular Meeting minutes of March 26, 2026, as submitted.

It came for discussion under Unfinished Business, a Short-Term Rental for the property located at 121 East 2nd Street, Tax Parcel 0612B-03-016.000, submitted by Lisa McDermed (owner) and Brian Logan and Bill Anderson (property managers), as follows:

MINUTES OF APRIL 9, 2026
REGULAR MEETING
LONG BEACH PLANNING and DEVELOPMENT COMMISSION

CITY OF LONG BEACH, MISSISSIPPI APPLICATION FOR SHORT-TERM RENTAL							
PHYSICAL ADDRESS: 201 JEFF DAVIS AVENUE LONG BEACH, MS 39560	PHONE: (228) 863-1554 FAX: (228) 863-1558	MAILING ADDRESS: POST OFFICE BOX 929 LONG BEACH, MS 39560					
PROPERTY INFORMATION:							
ADDRESS: <u>121 E. 2ND STREET LONG BEACH, MS 39560</u>		Tax Parcel # <u>0612b-03-016.000</u>					
(Location of Short-Term Rental)							
OWNER'S INFORMATION:							
Property Owner's Name: <u>Lisa McDermed</u>							
Property Owner's Address: <u>23851 N 103rd Avenue Peoria, Az 85383</u>							
Property Owner's Mailing Address, if different from above: <u>Same as above</u>							
Property Owner's Phone No: <u>602-410-4663</u>		Email Address: <u>lismcdermed@westusa.com</u>					
Is there a homeowner's association for the neighborhood? _____ If so, please provide written statement of support of short term rental?							
PROPERTY MANAGER INFORMATION:							
Property Manager's Name: <u>Brian Logan</u> <i>Bill Anderson 228-215-3234</i>							
Property Manager's Address: (Must be a local contact) <i>Bill Curb@gmail.com</i> <u>2100 18th Street Gulfport, Ms. 39501</u>							
Property Manager's Phone No. <u>228-669-3058</u>		Email Address: <u>logabr13@gmail.com</u>					
PLEASE PROVIDE THE FOLLOWING:							
<ul style="list-style-type: none"> • Mississippi Sales Tax ID # <u>VR810</u> • Recorded Warranty Deed <input checked="" type="checkbox"/> • Parking Rules & Plan <input checked="" type="checkbox"/> • Trash Management Plan <input checked="" type="checkbox"/> • Copy of Proposed Rental Agreement <input checked="" type="checkbox"/> • Proof of Liability Insurance, which includes short term rental coverage <input checked="" type="checkbox"/> 							
ADDITIONAL INFORMATION:							
<ul style="list-style-type: none"> • Completed written statement of compliance. • FEES: \$250, nonrefundable application fee. \$500, yearly renewable fee. Checks should be made payable to the City of Long Beach. • LICENSE: A Privilege Tax License must be applied and paid for after approval. • INCOMPLETE APPLICATIONS will not be processed. 							
AFFIDAVIT							
I HEREBY CERTIFY THAT I HAVE READ THIS APPLICATION AND THAT ALL INFORMATION CONTAINED HEREIN TRUE AND CORRECT. I ACKNOWLEDGE RECEIPT OF AND AGREE TO COMPLY WITH THE RULES & REGULATIONS OF SHORT-TERM RENTALS (Ordinance 660), ALL APPLICABLE CODES, ORDINANCES AND STATE LAWS. VIOLATION OF ANY CODES OR REGULATIONS SHALL RESULT IN THE SUSPENSION OR REVOCATION OF THE PERMIT.							
PRINT NAME <u>Lisa McDermed</u>	SIGNATURE <i>Lisa McDermed</i>	DATE <u>01/28/2026</u>					
BELOW IS FOR OFFICE USE ONLY							
Maximum Occupancy: <u>8</u>	Maximum Vehicles allowed: <u>3</u>	Number of bedrooms: <u>3</u>	Number of people home can accommodate: <u>8</u>				
I AFFIRM THAT THE APPLICANT IS IN COMPLIANCE WITH ALL APPLICABLE ZONING REQUIREMENTS, BUILDING & FIRE CODES; AND THAT ALL APPLICABLE TAXES, FEES AND OTHER CHARGES HAVE BEEN PAID.							
Building Official Signature: <i>David Barlow</i>		Date: <u>3/19/26</u>					
Fire Inspector Signature: _____		Date: _____					
COMMENTS: _____							
<table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <td>Date Received: <u>3/18/26</u></td> </tr> <tr> <td>Agenda Date: <u>3/26/26</u></td> </tr> <tr> <td>Amount Due/Paid: <u>250.00</u></td> </tr> <tr> <td>Payment Method: <u>4234</u></td> </tr> </table>				Date Received: <u>3/18/26</u>	Agenda Date: <u>3/26/26</u>	Amount Due/Paid: <u>250.00</u>	Payment Method: <u>4234</u>
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Agenda Date: <u>3/26/26</u>							
Amount Due/Paid: <u>250.00</u>							
Payment Method: <u>4234</u>							

MINUTES OF APRIL 9, 2026 REGULAR MEETING LONG BEACH PLANNING and DEVELOPMENT COMMISSION



I, Lisa McDermid, owner of the property located at
121 E 2nd Street Long Beach, Ms. 39560, Tax Parcel 0612b-03-016.000

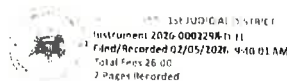
affirm that I am in compliance with building codes, deed restrictions
and/or covenants, and have paid all applicable taxes, fees and other
charges. I acknowledge that a violation of the ordinances of the City of
Long Beach shall result in the suspension or revocation of the permit.

Lisa McDermid

signature

01/28/2026

date



Prepared By
David B. Pilgr
Attorney at Law
1100 S. College Blvd
P.O. Box 150
Long Beach, MS 39560

Grantor
Steve Ward
1329 Pezard Rd
Piquette, MS 39471
(228) 699-1732

Prepared For
Pager Title Co
14 S. Belleville Blvd
Ocean Springs, MS 39061
(228) 758-0911

Grantee
Lisa McDermid
David McDermid
3401 N 103rd Ave
Burrhead, AL 35013
(205) 439-4663

File No. E-26-834

INDEXING INSTRUCTIONS: Lot 4, Blk 8, Original Long Beach, 1st JD, Harrison County, MS

STATE OF MISSISSIPPI
COUNTY OF HARRISON
FIRST JUDICIAL DISTRICT

WARRANTY DEED

FOR AND IN CONSIDERATION OF the cash and sum of TEN AND NO/100 DOLLAR (\$10.00) which has been paid and is hereby acknowledged, the grantor, Steve Ward, do hereby sell, convey and warrant unto Lisa McDermid and David McDermid, as joint tenants with right of survivorship and not as tenants in common, all of that parcel of land situated in the First Judicial District of Harrison County, Mississippi, together with all improvements, buildings, fixtures, and appurtenances thereto being and to be more particularly described as follows:

Lot 4, Block 8, Original Long Beach, a subdivision according to the map or plat thereof on file of record in the office of the Chancery Clerk in the First Judicial District of Harrison County, Mississippi, in Plat Book 11, at Page 6.

This being the same property as that conveyed to Steve Ward by deed recorded as Instrument No. 2022-0724-D-11 in the Deed Records of Harrison County, Mississippi.

If this property is qualified by water, this conveyance includes any water, accretion, and is subject to any loss or due to the action of the elements. Rivers, streams and tidal currents, if any, exist and conveyed herewith but without warranty as to their nature or extent. If any portion of the property is below a mean high tide watermark, or is coastal wetlands as defined in the Mississippi Coastal Wetlands Protection Act, it is conveyed by multiple entry.

Grantor(s) quitclaim any and all oil, gas, and other minerals owned in any to Grantee(s). No mineral search was requested or performed by preparer.

This conveyance is subject to any and all covenants, rights of way, easements, restrictions and reservations of record in the office of the Chancery Clerk of the First Judicial District of Harrison County, Mississippi.

It is agreed and understood that the taxes for the current year have been prorated up to the date on an estimated basis, and when said taxes are actually determined, if the proportion of this rate is incorrect, the Parties hereto agree to make all necessary adjustments in the taxes of record, pro-rata.

This conveyance is not part of the Grantor's Homestead.

WITNESS MY SIGNATURE on this the 28th day of January, 2026.

Steve Ward
Steve Ward

ACKNOWLEDGMENT

STATE OF MISSISSIPPI
COUNTY OF HARRISON

PERSONALLY APPEARED BEFORE ME, the undersigned authority, and for the purpose aforesaid, the within named Steve Ward, who acknowledged before me that he signed, executed and delivered the above and foregoing instrument on the day and year thereof for the use and purposes therein expressed.

GIVEN UNDER MY HAND AND OFFICIAL SEAL on this the 28th day of January, 2026.



Ashley Garrison
Ashley Garrison
NOTARY PUBLIC

MINUTES OF APRIL 9, 2026
REGULAR MEETING
LONG BEACH PLANNING and DEVELOPMENT COMMISSION
Parking Rules & Plan

Property Address: 121 2nd St, Long Beach, MS 39560

Regulatory Compliance: This Parking Plan is established in accordance with the requirements of the City of Long Beach.

Guest Communication: Guests are instructed verbally during orientation before arrival about the parking rules. A discussion of the parking policy is also included in the guest book.

Parking Rules:

1. Vehicles cannot be parked on the grass.
2. Vehicles must be parked on the driveway or in authorized marked street parking areas only.
3. Do not park on neighbors' property.
4. It is recommended that you leave no valuables inside the vehicle, particularly anything that can be seen.
5. Lock your vehicle when not in use.
6. Do not leave your vehicle running unless you are arriving or leaving.
7. Be cautious pulling out of the driveway, as the fire department across the street may be operating heavy equipment.



Trash Management Plan

Property Address: 121 Second St, Long Beach, MS 39560

Regulatory Compliance This Trash Management Plan is established and maintained in accordance with the requirements set forth by the City of Long Beach. Adherence to these guidelines is mandatory for all occupants to ensure sanitation, neighborhood aesthetics, and regulatory compliance.

Tenant Instructions & Procedures

The following protocols are communicated to all guests verbally upon check-in and are documented in the property Guest Book.

1. Collection Schedule & Curbside Placement

- **Collection Day:** Trash collection occurs every **Monday**.
- **Placement:** Tenants must place the large outdoor trash containers at the curb on **Sunday evening** to ensure pickup.
- **Curbside Restrictions:** Trash containers must **never** be placed at the curb prior to **12:00 PM (Noon) on Sunday**.

2. Bagging & Preparation

- **Mandatory Bagging:** All refuse must be secured inside plastic trash bags before being placed in the outdoor containers. Loose trash is prohibited.
- **Supplies:** Plastic trash bags are provided for tenant use.

3. Internal & External Disposal Flow

- **Indoor Disposal:** All waste generated inside the property must be placed into the trash receptacles located throughout the house.
- **Consolidation:** Tenants are responsible for consolidating accumulated trash from indoor receptacles into the designated large outdoor trash containers.
- **Storage Restrictions:** Trash must never be stored outside the house (e.g., on porches, decks, or lawns) outside of the designated containers.

4. Sanitation & Site Maintenance

- **Container Security:** Trash container lids must remain closed at all times to prevent pest infestation and debris scattering.
- **Littering:** Littering on the property or surrounding areas is strictly prohibited and is illegal under local ordinances.

**MINUTES OF APRIL 9, 2026
REGULAR MEETING
LONG BEACH PLANNING and DEVELOPMENT COMMISSION**

Issue Resolution

If you experience any issues regarding waste disposal, missing bins, or missed collections, please contact the Property Manager immediately.

Failure to comply with this plan may result in fines or penalties as outlined by the City of Long Beach.

**SHORT-TERM RENTAL PROPERTY MANAGEMENT
AGREEMENT**

IN CONSIDERATION of the covenants herein contained, hereinafter designated as **Lisa McDermed and**, Owner, to employ **Gulf Coast Property Management LLC (DBA Christies Gulf Beach Rentals)** as exclusive Agent, hereinafter designated as **Agent**, to rent, lease, operate, and manage the real property known as **121 E. Second St, Long Beach, MS 39560** (Premises) described as a **single-family residence** commencing on this date **January 30, 2026** and terminating at midnight on **January 29, 2027**, upon the following terms and conditions.

This agreement will automatically renew for an additional one-year period. The owner has 30 days to acknowledge or accept the new terms as written for the extension. Should a delay occur in signing a new agreement after the expiration date, both parties agree management services will be extended for one year or until another agreement or extension is provided by the Agent. Either party may terminate this agreement with 60 days written notice to the other

AGENT'S AUTHORITIES AND OBLIGATIONS

1. **Advertising:** To advertise the availability of the Premises through Christies Gulf Beach Rentals website and third-party websites and directly to influencers.
2. **Access:** To use an electronic lock to permit access to the Premises to the Agent, guests, and maintenance vendors. Owner acknowledges that Agent is not insuring Owner against theft, loss, utility usage, or vandalism resulting from such access or while the unit is vacant.
3. **Guest Terms:** Guests will be advised of the terms and conditions of their use of the property. They will agree to comply with the terms and conditions. From time to time, a guest may inflict damage upon the property or remove item(s) without permission. The owner acknowledges that this is a cost of doing business and agrees to repair or replace as necessary to maintain the property in good operating condition. The owner agrees that the Agent is not liable for damage or removal of items by guests. Guests are responsible for damage or theft caused during their stay as stipulated in the agreement they sign with the third party to follow the rules established by the host/owner. Violations of the guest/host/third party agreement will be addressed by Agent if and when discovered, Agent is not responsible for guest violations of the policy.
4. **Pet Policy:** To follow the Pet Policy. The owner must provide instructions about the acceptance of pets. Type, number, size, etc. No animals.

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5. **Collection & Disbursement:** To collect rents, security deposits, and other receipts, and to deposit such monies into the owner's bank account. All funds collected from guests through the reservation system will be considered pre-payment for their stay. The agent will only disburse funds to the Owner after the guest has completed their stay. Funds will be disbursed by the 10th of the following month directly into the owner's bank account. The owner acknowledges that only funds received and earned will be disbursed. Funds from guests staying the last few days of the month where payment is not earned until the next month will be paid in the next cycle.
6. **Sales Tax:** The agent will submit on behalf of the owner, sales tax payments required by Mississippi law monthly. Taxes are collected from guests as a separate line item and are not subject to the Agent's management fee. The current sales tax rate is 12% of the gross amount paid directly through our website or a third party (the tax rate may change). The gross amount does not include cleaning fees. Airbnb and VRBO currently collect and pay taxes to the state on behalf of the Owner. Tax payments are recorded in the owner's report. Taxes only apply to short-term rentals.
7. **Legal Action:** To employ attorneys to enforce the Owner's rights under third-party agreements and institute legal action on behalf of the Owner.
8. **Owner Usage:** The owner can use the property only after consulting with the Agent and scheduling their stay in advance. There is a cleaning fee that must be paid for owners and their guests. A cleaning fee will be deducted from the monthly reimbursement. The exception to the cleaning fee is if the owner leaves the property EXACTLY as they found it.
9. **Cleaning Fees:** Cleaning fees are charged directly to guests. The owner does not participate in the cleaning fee income, this amount is deducted from the fees collected from 3rd party providers and any guests booking through the Christies Gulf Beach Rentals website. Pool cleaning and grounds maintenance are not included in the cleaning fee. Owner must make arrangements for pool cleaning and maintenance services and pay the cost directly to the vendor.

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10. **Management Services:** To provide reasonably necessary services for the proper management of the property including recommending, reporting observations including recommended, alterations, and repairs as may be required by the Owner. A guest information binder will be prepared and placed on the property. This requires Owner participation to complete. The guest information binder and its contents remain the property of Christies Gulf Beach Rentals should the agreement terminate. The contents are considered proprietary even with the Owner input. Christies Gulf Beach Rentals will attempt to obtain compensation from third parties should guests create damage to the property that Agent is aware of. VRBO and AirBnb have programs but they are not very effective, regardless effort will be made have them pay if the guests refuse to pay for damage.
11. **Contractors:** To hire, supervise, and discharge all independent contractors required in the operation, maintenance, and refurbishment of the property. The agent has a preferred vendor list that they will primarily use for any repairs at the premises. In order to reduce liability to the Owner and comply with federal law, All invoices are billed to the Owner in the care of the Agent. Owner always has the option to perform all repairs with their own contractor.
12. **Repair Limits:** To contract for repairs or alterations at a cost to the Owner not to exceed \$350.00 per repair (repair limit does not apply to HVAC or water heater repairs/replacement). The agent is not required to notify the Owner in advance of repairs under the \$350.00 authorized limit prior to ordering or completion of the repair (regular communication will ensure the owner is aware). Invoice copies will be maintained by the Agent as required by law. Expenses above the repair limit shall be in such amounts as agreed by the Owner and Agent, except recurring (monthly) operating charges and/or emergency repairs in excess of the maximum. Owner authorizes Agent to use reserve or other Owner's funds held by the Agent for repairs that are necessary to protect the Premises from damage or to maintain services to the tenant as required in their leases or by local, state, or federal laws.
13. **Emergency Repairs:** To contract for emergency repairs and expenses that are necessary for the protection of the property from damage, or to provide services to the tenants provided for in their leases and the Landlord Tenant Act. (including but not limited to: HVAC failures, water line breakage, sewage backflow, roof, structural or other failures). Owner will be notified the next business day or sooner about emergency repairs.

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14. **Utilities & Supplies:** To contact as Agent deems necessary for utilities, appliances, services, non-tenant related pest control (termites, bees, scorpions, etc.), and supplies for the operation, maintenance, and safety of the Premises. Owner agrees to turn on necessary utilities in their name. Agent will attempt to manipulate the air conditioning system to reduce the owner's cost. Agent strongly recommends that the Owner have a wifi thermostat installed to provide the Agent with control of the comfort of the guests while attempting to reduce the cost of utilities to operate the system when vacant.
15. **Safety Alarms:** To replace, install, or repair smoke and carbon monoxide detectors and/or alarms as required by law. The fee for this service is included in the fee schedule.
16. **Home Warranties:** To cooperate with various home warranty companies in the
17. **maintenance of the property (when applicable).** If warranties are not presented at the time of PMA commencement, the Agent will not be liable for work performed by a repair service of the Agent's choice. Should Agent determine that the warranty company or its subcontractor is unresponsive or untimely, Agent may contract for necessary repairs with a repair service company of their choice at Owner's expense. Owner assumes all responsibility for the renewal of warranty contract(s) and payment of policy premiums. A warranty coordination fee may be charged at the Agent hourly rate if working with the warranty company causes the Agent to spend time above and beyond a normal repair.
18. **IRS Reporting:** To report Owner income as required by law and issue the Owner an IRS 1099 Miscellaneous Income form (or IRS 1042S Income form for foreign investors) for all taxable funds received. Owner consents to receive substitute IRS forms online and acknowledges they have the ability to access their online portal. Instructions for printing forms and making changes to Owner information is provided through the Owners online portal. In the event the Owner can not access their tax forms online, a paper copy can be provided upon written request to Agent. Owner agrees to complete a W-9 or other applicable tax. forms with an accurate tax identification number and address, in addition to any other requested information or required tax form, and to notify the Agent of any changes. Any fines assessed due to inaccurate information provided by Owner or changes to Owner's information will be charged to the Owner. Agent files monthly Mississippi state occupancy tax return.
19. **Record Keeping:** To maintain accurate records of all monies received and disbursed in connection with the management of the property. Owner has 24/7 web access to financial data and has the right to access their data through the Client Portal.

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- 20. Owner Proceeds:** To deposit net proceeds into Owner accounts on or about the 10th of the following month. Owners requesting a check at any other time of the month may be charged an "out of cycle" \$25.00 processing fee. Funds will be sent through the Agent's bank bill pay which may or may not create an electronic transfer to the Owner's bank account. Payments will not be mailed, funds must be deposited directly into the Owners bank account. Wire transfers require additional fees and will only be done upon request at the owner's cost. The owner will provide an email address for online statement notification and bank account information for direct deposit purposes. Should an email address or bank account change, the Owner agrees to notify the Agent. Agents will provide access to owners' reports via a link to a Google Sheet. This report is available 24/7 and owners will be responsible for viewing this report at their leisure. No report will be sent as this report will be updated as new information is provided.
- 21. Other Authorized Expenses:** None. Any loan payments, property taxes, privilege use taxes, insurance and homeowners association payments are the direct responsibility of Owner. Owner may direct Agent to make payments on his behalf, using coupons, vouchers, or billing statements, which must be provided by Owner. An accounting service fee (see fee schedule) per month for additional services (monthly impound accounts, property tax payments, acting as Owner's statutory agent, etc.) will be charged as services are rendered. Owner is solely liable for any changes. If the Agent does not receive payment instructions in a timely fashion, the Owner is solely liable and no payment will be made. Agent is not responsible for any late fees and/or credit issues due to late payments for any items referred to in this paragraph. Agent cannot under any circumstances advance money for payment of Owner's obligation.
- 22. Referrals:** Agents from time to time will refer individuals requesting a stay at Owners property to stay at other owners properties when the Owners property is booked. In exchange, Agent will book guests that are overages from other owners' properties that Agent manages. Owner receives compensation based upon the rate paid to the original owner, less Agent's usual commission, cleaning fees and taxes if applicable.
- 23. Exclusivity: Additional Terms:** This is the only contract with a property management company that is valid. Any previous agreements with property managers or persons to manage the property have been terminated. The Owner understands that Agent will not interfere with an existing contract and Owner agrees to indemnify Agent against any claims from previous contractors.

OWNER'S OBLIGATIONS

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- 1. Insurance:** Owner agrees to carry, at Owner's expense, bodily injury, property damage and personal injury liability insurance in the amount of not less than \$300,000 per person or three hundred thousand (\$300,000) if the Premises contain a pool, attractive nuisance or latent defects. In cases of a condominium/townhouse policy, Owner shall carry a minimum of \$300,000 additional liability. The policy shall be written on a comprehensive general liability form and shall name the Agent as additional insured. Owner shall immediately furnish Agent with a certificate of insurance evidencing that the coverage is in force with a carrier acceptable to Agent. If Owner does not provide evidence of such insurance, Agent may purchase such coverage¹⁰ at Owner's expense. In the event the Agent receives notice that said insurance coverage is to be canceled, the Agent shall have the option to immediately cancel this agreement.
- 2. Pool Safety:** If the Premises has a pool, the Owner, at Owner's expense, shall comply with all applicable state, county, and municipal swimming pool barrier laws or regulations prior to the Premises being occupied. Each city code varies, and information can be located at the city's governmental website.
- 3. Legal Authority:** Owner represents that Owner has the legal authority to lease the Premises. The undersigned Owner of the property hereby affirms that: a.) The property is insured as a rental, with an Agent named as additional insured, and b.) The Homeowners Association (HOA) is aware of and approves the use of the property as a rental.
- 4. Disclosures:** Owner will disclose in writing all known defects, latent or obvious, to the Agent and warrants that the Premises are in a safe and sanitary condition as of the contract date. The agent will provide a preferred disclosure form for Owner convenience, but regardless of the form used, the Owner acknowledges that failure to make legally required disclosures may result in civil liability. The owner shall comply with all lead-based paint (LBP) laws. If the property was built prior to 1978, the owner shall notify the Agent of any known LBP or LBP hazards in the premises and provide the Agent with any LBP risk assessments or inspections of the premises. Further, the owner agrees to provide EPA-approved LBP forms upon Agent request.
- 5. Guest Fulfillment:** Owner shall fulfill all Owner's obligations to the Guest pursuant to the rental agreement as required by law.
- 6. Relations:** Owner agrees that Agent shall handle Guest relations and Agent discourages Owner from contacting the guests directly. Owner shall not visit or enter premises without notifying the Agent in advance to determine if there is a Guest in residence.
- 7. Hiring Agent Employees:** Owner shall not hire or contract with any employee of the Agent to do any work or perform any service related to the Premises without the Agent prior written consent.

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8. Pricing: Owner agrees that Agent will set prices for the property based upon research of the market at the time and other factors that will lead Agent to price the property competitively. Agent will consult the owner when major price changes are to be made. Owner acknowledges that 3rd party platforms offer discounts for new properties which will reduce the rate paid by guests for some first rentals.
9. Foreclosure Disclosure: Owner certifies that all mortgage obligations, property taxes, association fees, (and/or any other obligations which could lead to any default or foreclosure action against the Premises) are current at this time and further agrees to keep them current and paid in full as required. Should the Agent be notified in any manner that a foreclosure action has been initiated against the subject property, the Owner authorizes Agent to freeze all funds related to that property and Agent will make no further disbursement to the Owner. Owner has 30 days to cure the default that initiated the foreclosure action or provide evidence that the foreclosure was initiated erroneously by the lending institution. Should Owner fail to cure the default, Owner authorizes Agent to refund 12the prepaid funds to Guest and to deduct from any Owner's funds on hand with Agent all amounts due to Agent or Guest including, but not limited to, any refund to Guest of prorated payment. Owner and Agent agrees that nothing in this paragraph shall limit Agent's other legal remedies to collect from Owner any unpaid fees due to Agent.
10. Licensing: Owner agrees to purchase any business license or other license required by the applicable governmental authority and pay any fees or taxes when due. Owner, at Owner's expense. Agent agrees to assist Owner in applying for licensing and registering the Premises with the appropriate county on the owner's behalf.
11. Updates: Owner agrees to notify the Agent immediately of any changes in the Owner's contact information (including but not limited to) mailing address, phone number, email address, and banking information (for ACH payments). Owner agrees to notify the Agent immediately of any change in ownership or title for the Premises.
12. Assignment: Neither Agent nor Owner may assign any rights or obligations pursuant to the Property Management agreement without the prior consent of the other party. This agreement is entered into by and between the Owner and Agent, and shall be binding upon the successor and assigns of the Agent, and the heirs, executors, administrators, successors, and assigns of the Owner in the event of death or other incapacitation of either party.
13. Waiver of Jury Trial: The parties to this agreement agree that neither side will request a jury trial in the event of litigation. The parties specifically waive their right to a jury trial and agree that any court action is determined by a Judge only.

COMPENSATION

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Owner agrees to pay Agent fees for services rendered at the rates in Attachment A - Fee Schedule. The owner agrees to assign to the Agent all guest payments (including guest payments paid directly to the Owner) and other income collected for the purposes specified in this Agreement, including the payment of obligations incurred. Such compensation is due and payable on demand and may be collected from any of the Owner's funds.

1. **MANAGEMENT SERVICES:** The owner agrees that the management fee represents payment for management and marketing services. The management fee listed in Attachment A.
2. **ACCEPTANCE OF PRIOR MANAGER'S BOOKINGS:** Owner agrees to compensate Agent the amount of 10% of gross revenue except for cleaning fees, for any and all bookings that were booked by prior managers but occur after this agreement is signed. Owner agrees to provide Agent a complete list of all bookings with details about guests, dates, revenue and all other information usually collected for a booking.
3. **CLIENT PORTAL:** The client portal is the way Owner will see documents related to collection of guest fees and other revenue. Owner will be responsible to view the portal and printing as needed copies of the report. Only revenue where Agent receives payment will be recorded.
4. **SALE OF PROPERTY:** By separate agreement, the Agent is affiliated with Logan-Anderson, Gulf Coastal Realtors.
5. **OTHER SERVICES:** See Attachment A - Fee schedule. Should the Owner agree to any supplemental services such as accounting, the Owner will indicate that this is a service they desire by initialing the line item on the Attachment.

ACCESS TO PROPERTY

No persons are permitted access to the property including owners without prior notice to Agent. This notice must be sent by text or email to create a record. Owners and owners friends, family or associates may use the property after booking their stay. This booking is sufficient notice. If contractors or others need access, owner is to contact Agent in advance to arrange for this. If anything is added or removed from the property by owners contractors or others that the owner has asked for access, Agent will be notified of the activity in advance.

TERMINATION

Either party may terminate this agreement with 60 days' written notice to the other party or parties. Termination without proper notice or at any time other than the agreement ending date will result in cancellation fees (on occupied properties). Upon termination of the management agreement, the Agent shall provide the Owner with a final accounting. Agent shall make available to the Owner a final accounting statement on the client portal and

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Owner distribution check within 35 days of the termination date. Any prepayments held will be transferred into the Owner's funds after deducting the management fee for the work to obtain the reservation. There is a \$300 early termination fee to compensate the Agent for work completed on behalf of the Owner to modify the Agent's websites and to remove third-party postings., except in case of Owner default, and accounted for in the final statement. Should there remain additional outstanding payables, known or expected, the Agent may withhold an estimated amount to cover them and account to the Owner as soon as the payment is made but not to exceed 75 days from the termination date. Should the Owner have a shortage in his account to cover all final payables, the Owner agrees to deliver funds to the Agent upon demand within five (5) calendar days. In the event of foreclosure, Agent shall be entitled to all of the management fees that would be due to Agent through the end of the management agreement or lease (whichever ends later). If the Owner cancels at any time other than the management agreement ending date with a tenant in place, full management fees are due for the 60-day cancellation period. Neither termination of this agreement by either party nor sale or foreclosure of the Premises shall affect the obligation of Owner to pay the commission to the Agent.

TERMINATION OF AGREEMENT

If Owner or Agent decides to terminate this agreement per the provisions included in this agreement, the Agent is under no obligation to provide any data regarding reservations in place for Owners property beyond the termination date. The Agent may find other accommodation for guests or, upon payment by Owner to Agent for the uncompensated effort to advertise and manage the guest reservation system and provide information about guest reservations. There is a \$300 early termination fee for any agreement terminated by Owner prior to the expiration of this agreement.

OTHER TERMS

Unless otherwise provided, delivery of all notices, statements, reports, and disbursements ("Notice") required or permitted hereunder shall be delivered in writing addressed to Owner or Agent and deemed delivered and received when: (i) hand-delivered; (ii) sent via facsimile transmission; (iii) sent via electronic mail, if email addresses provided herein; (iv) sent via recognized overnight courier service; or (v) sent by U.S. mail, in which case the Notice shall be deemed received when actually received or five (5) days after the Notice is mailed, whichever occurs first. This is intended to be a legally binding contract. This Agreement shall be governed by Mississippi law and jurisdiction is exclusively conferred on the State of Mississippi. No representation is made as to the legal validity or adequacy of any provision or the tax consequences thereof. Owner acknowledges and agrees that the Agent may now or in the future represent other owners of similar properties. The owner recognizes, acknowledges, and agrees that the Agent is not qualified or licensed to provide legal or tax advice. If you desire legal or tax advice, consult your attorney or tax advisor. This agreement

Agreement Details & Signature Page

Agreement Details	
Owner Name	Lisa McDermed and
Agent Name	Gulf Coast Property Management LLC (DBA Christies Gulf Beach Rentals)
Property Address	121 E. Second St, Long Beach, MS 39560
Property Type	single-family residence
Start Date	January 30, 2026
End Date	January 29, 2027
Client Responsible Party	Lisa McDermed
Client Company Name	
Client Tax ID	
Client Mailing Address	23851 N 103rd Ave, Peoria, AZ 85383
Name of Property	
Owner Email (optional)	lisamcdermed@westusa.com

Signatures

 01/20/26 <hr/> Owner Signature Date	 01/19/26 <hr/> Agent Signature Date
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and applicable attachments are the entire agreement between the Owner and Agent, and there are no other covenants, promises, agreements, conditions, or understandings, oral or written between them. Any change or alteration to this agreement must be in writing. Agent may modify this agreement with a minimum 30-day written notice to Owner. Modifications may apply to this agreement and any future revisions. Owner agrees to pay applicable state gross receipts tax (service tax) if adopted by the state. If any provision in this agreement is held by any Court to be unlawful, invalid or unenforceable, that provision shall be voided, but all other terms and conditions shall remain in effect. Agent will not be responsible to account for such interest to Owner. In the event of any legal action by the parties arising out of this agreement, the prevailing party shall be entitled to reasonable attorney's fees and costs, to be determined by the court in which such action is brought. If any of the Premises shall ever be foreclosed upon or condemned, this agreement shall immediately be terminated without further action or notification required by either party. Agent accepts employment under the term of and agrees to use diligence in the exercise of the obligations, duties, and authorities in herein upon Agent.

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DP3 SPECIAL FORM DECLARATION

This Declaration Page is attached to and forms part of certificate provisions.

Previous No. Authority Ref. No. See Attached VUAI 001 Certificate No. VAVDW001727

1 Name and address of the Assured: LISA MCDERMED, 121 East 2nd Street, Long Beach, Mississippi 39560
Broker: Rural Insurance Agency, 6311 Ridgewood Road, Jackson, MS 39211

Business description: DWELLING

2 Effective from 1/29/2026 to 1/29/2027
both days at 12:01 a.m. standard time

3 INSURER
See attached form VUAI 001

100%

4 This Certificate consists of the following Coverage Parts for which a Premium is indicated. This Premium may be subject to adjustment.

	Premium
Dwelling Policy Premium	\$ 3,586
Policy Fee \$150.00	\$
Carrier Policy Fee \$100.00	\$
Home Inspection Fee \$250.00	\$
Surplus Lines Tax \$163.44	\$
Service Office Fee \$10.22	\$
Policy Fee - MS \$122.58	\$
FEEES	\$ 500.00
TAXES:	\$ 296.24
Total:	\$ 4,382.24

his insurance policy is issued pursuant to Mississippi law covering surplus lines insurance. The company issuing the policy is not licensed by the State of Mississippi, but is authorized to do business in Mississippi as a nonadmitted company. The policy not protected by the Mississippi Insurance Guaranty Association in the event of the insurer's insolvency.

5 Forms Applicable to all Coverage Parts: SEE ATTACHED SCHEDULE OF FORMS AND ENDORSEMENTS
TERMS: 25% MINIMUM EARNED PREMIUM

6 Service of Suit may be made upon: REFER TO ATTACHED MMA 1998A & EBSIC-SOS-IL0002

In return for the Payment of the premium, and subject to all the terms of this Certificate, we agree to provide the insurance as stated in this certificate.

Dated 1/30/2026

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**DWELLING COVERAGE PART
SUPPLEMENTAL DECLARATIONS**

Certificate No. VAVDW001727

Effective Date: 1/29/2026
12.01 A.M. Standard Time

Named Insured: LISA MCDERMED

LOCATION

LOCATION: 121 East 2nd Street, Long Beach, MS 39560

COVERAGES PROVIDED - INSURANCE AT THE DESCRIBED LOCATION APPLIES ONLY FOR COVERAGES FOR WHICH A LIMIT OF INSURANCE IS SHOWN.

DWELLING PROPERTY COVERAGE			
Coverage A	Dwelling	USD	\$250,000
Coverage B	Other Structures	USD	\$0
Coverage C	Personal Property	USD	\$0
Coverage D	Fair Rental Value	USD	\$0
	A-D TOTAL	USD	\$250,000
	Scheduled Properties	USD	
DWELLING LIABILITY COVERAGE			
Coverage E	Liability	USD	\$300,000
Coverage F	Medical Payments	USD	\$5,000
PREMIUM:		USD	\$3,586

MORTGAGE HOLDERS(S)

PREM. NO. BLDG. NO. MORTGAGE HOLDER NAME AND MAILING ADDRESS

DEDUCTIBLE:

Underwriters shall not be liable for the first USD 2,500 each and every loss, BUT INCREASED TO USD 12,500 EACH AND EVER LOSS IN RESPECT OF WIND OR HAIL.

THIS SUPPLEMENTAL DECLARATIONS AND THE COMMERCIAL PROPERTY DECLARATIONS, TOGETHER WITH THE COMMON POLICY CONDITIONS, COVERAGE FORM(S) AND ENDORSEMENTS COMPLETE THE ABOVE NUMBERED CERTIFICATE

Wherever in the policy the words "Company" or "Named Insured" appear therein they are deemed to mean "Underwriters" or "Assured" respectively

After discussion, Vice Chairman Sterling made motion, seconded by Commissioner Hughes and unanimously carried to table the application due to the applicant being absent.

It came for discussion under Unfinished Business, a Tree Removal for the property located at 109 Shelter Rock, Tax Parcel 0612F-02-043.000, submitted by Edward Guillie, as follows:

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CITY OF LONG BEACH, MISSISSIPPI
201 Jeff Davis Avenue
P.O. Box 929
Long Beach, MS 39560
(228) 863-1554
(228) 863-1558 fax
APPLICATION FOR TREE PERMIT

OFFICE USE ONLY
Date Received 3/12/26
Zoning R-3
Agenda Date 3/26/26
Check Number 1207

(Initial on the line that you've read each)

/// Routine trimming does not require a permit. The reason for pruning may include, but are not limited to, reducing risk, maintaining or improving tree health and structure, improving aesthetics, or satisfying a specific need. The City of Long Beach does recommend you obtain a licensed Arborist for your and the tree protection.

/// Any single-family Residential, Multi-Family Residential, Commercial or Industrial Zoned areas need a permit to remove a Live Oak or Magnolia tree with its root system, growing upon the earth usually with one trunk or at least eighteen (18) inches in circumference or larger, measured four and one-half (4 1/2) feet above the surface of the ground, or a multi-stemmed trunk system with a definitely formed crown.

/// Any person desiring a permit for removal of any Live Oak or Magnolia tree, shall submit this application and a filing fee of \$25.00 per parcel of land to which such application pertains.

TODAY'S DATE: 12/March/2026

PROPERTY INFORMATION

TAX PARCEL # 0612F-02-043.000

Address of Property Involved: 109 Shelter Rock

Property owner name: Edward Guillie
Are you the legal owner of the above property? Yes No If No, written consent from the owner is needed. Please provide a statement that no person, not listed on this application, has any interest in the title in or to the property.

Property owner address: 401 Mason Ave, Long Beach

Phone No. (985) 445-4288

CONTRACTOR OR APPLICANT INFORMATION

Company Name: _____

Phone No. _____ Fax: _____

Name: Edward Guillie

Address: 401 Mason Ave, Long Beach, Ms 39560

PERMIT INFORMATION

Permit for: Removal Trimming _____ Pruning _____

What is the reason the tree needs to be removed? Be specific ex. Construction, street or roadway, recreational area, patio, parking lot, diseased tree not worthy of preservation, etc.:

(1) Live Oak in Middle of North Street 16"
(1) Live Oak in detention pond 34"
(2) Live Oak in Middle of South Street
Remove for construction 16" & 30"

Number of Trees:
4 Live Oak _____ Southern Magnolia

I hereby certify that I have read this application and that all information contained herein is true and correct; that I agree to comply with all applicable codes, ordinances and state laws regulation construction; that I am the owner or authorized to act as the owner's agent for the herein described work

Edward Guillie 12/March/2026
Signature Date

ADDITIONAL INFORMATION REQUIRED FROM APPLICANT

(Initial on the line that you've read each)

/// TREE SITE PLAN: Please provide a map or diagram of the parcel of land, specifically designating the area or areas of proposed tree removal and the proposed use of such area. Please include the following: 1) location of all protected and large shade trees on the property, their size and species 2) Designate which are disease/or damaged, 3) designate which are endangering any roadway, pavement, or utility line. 4) any proposed grade changes that might adversely affect or endanger any trees on the site and specify how to maintain them 5) designate the trees to be removed and the trees to be maintained, and 5) location of existing and/or proposed structures.

/// PHOTOGRAPH: You must attach a photograph of the tree to be removed, the photo must show any damage the tree is causing.

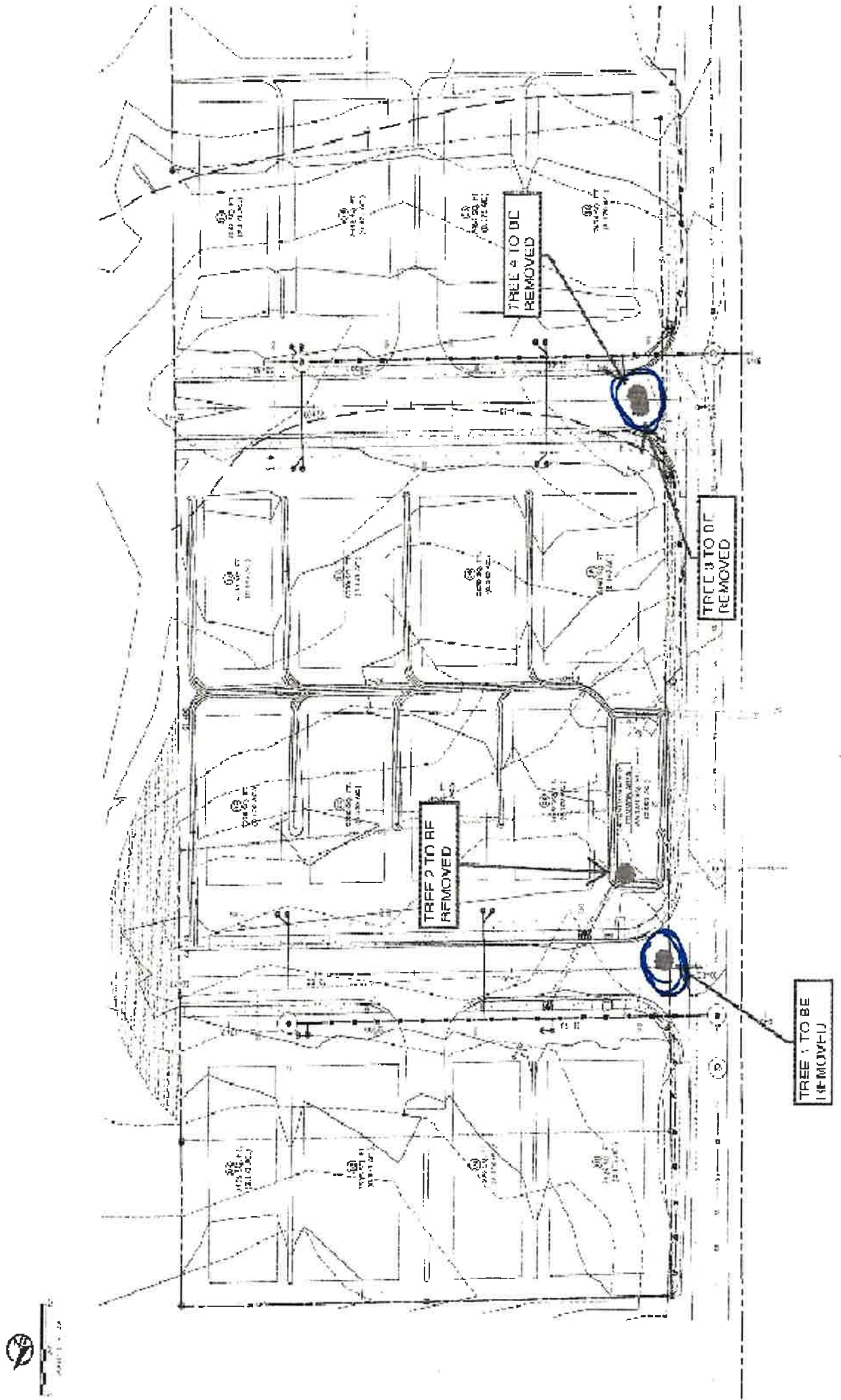
/// OWNERSHIP: Please provide a recorded warranty deed.

/// PERMIT FEES: Upon issuance of a Tree Removal Permit, the permit fee will be as follows: For removal of a tree or trees where such removal of such tree or trees is necessitated by material damage caused by such tree or trees to permanent improvement or improvements on the parcel where such tree or trees are situated a fee of \$1.00 per tree permitted to be removed. For removal of all other trees, a fee of \$45.00 per tree permitted to be removed. As per City of Long Beach Tree Ordinance (#364) any person removing any Live Oak or Magnolia tree within the City of Long Beach, Mississippi, without a valid tree removal permit, shall be guilty of a misdemeanor; and upon conviction thereof shall be sentenced to pay a fine not less than \$500.00 nor more than \$1000.00. The removal of each tree without having first secured a valid tree removal permit shall constitute a separate offense and shall be punishable as such.

/// REPLANTING: As a condition of granting the tree removal permit, the City, acting by and through its Mayor and Board of Aldermen, may require the applicant to relocate or replace trees, but may not require the replacement of trees in a number greater than the number of Live Oak or Magnolia trees removed; trees to be of Four (4) inches caliper deciduous trees or five (5) feet in height of evergreen or Live Oak or Magnolia trees.

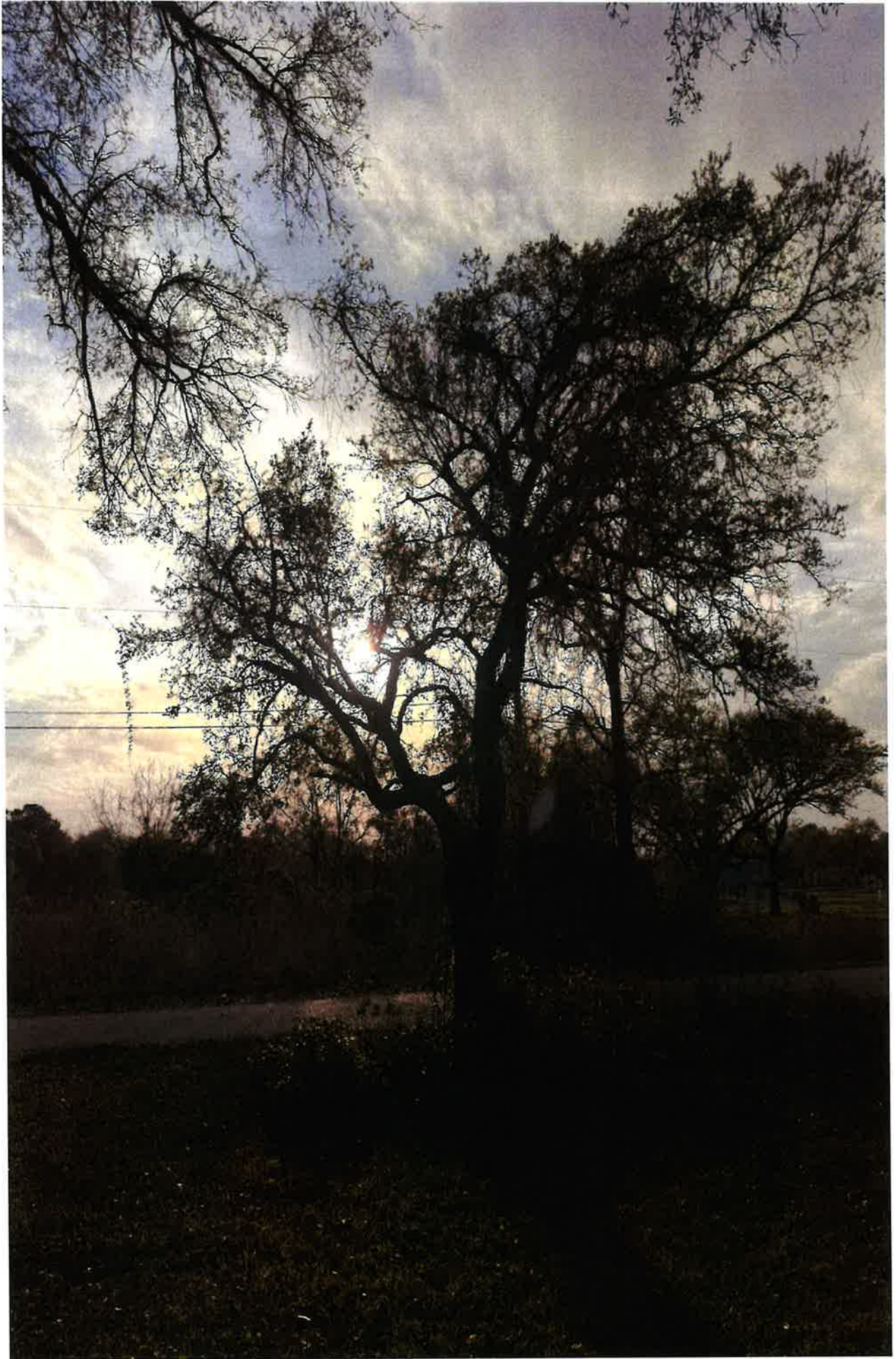
/// MEETING: You must attend the Planning Commission meeting, not attending may cause your permit for tree removal to be denied or withheld.

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REGULAR MEETING
LONG BEACH PLANNING and DEVELOPMENT COMMISSION**

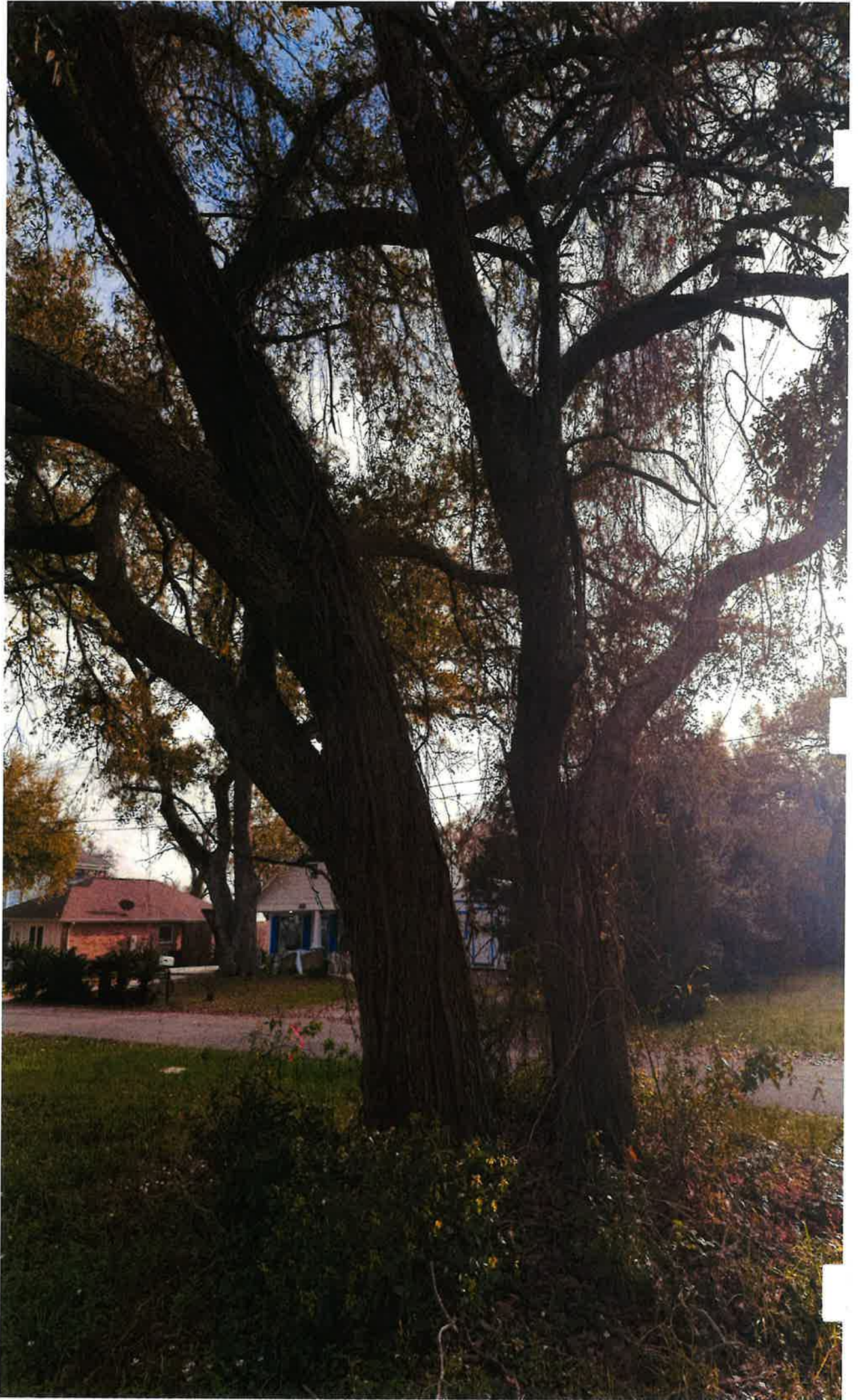


**MINUTES OF APRIL 9, 2026
REGULAR MEETING
LONG BEACH PLANNING and DEVELOPMENT COMMISSION**

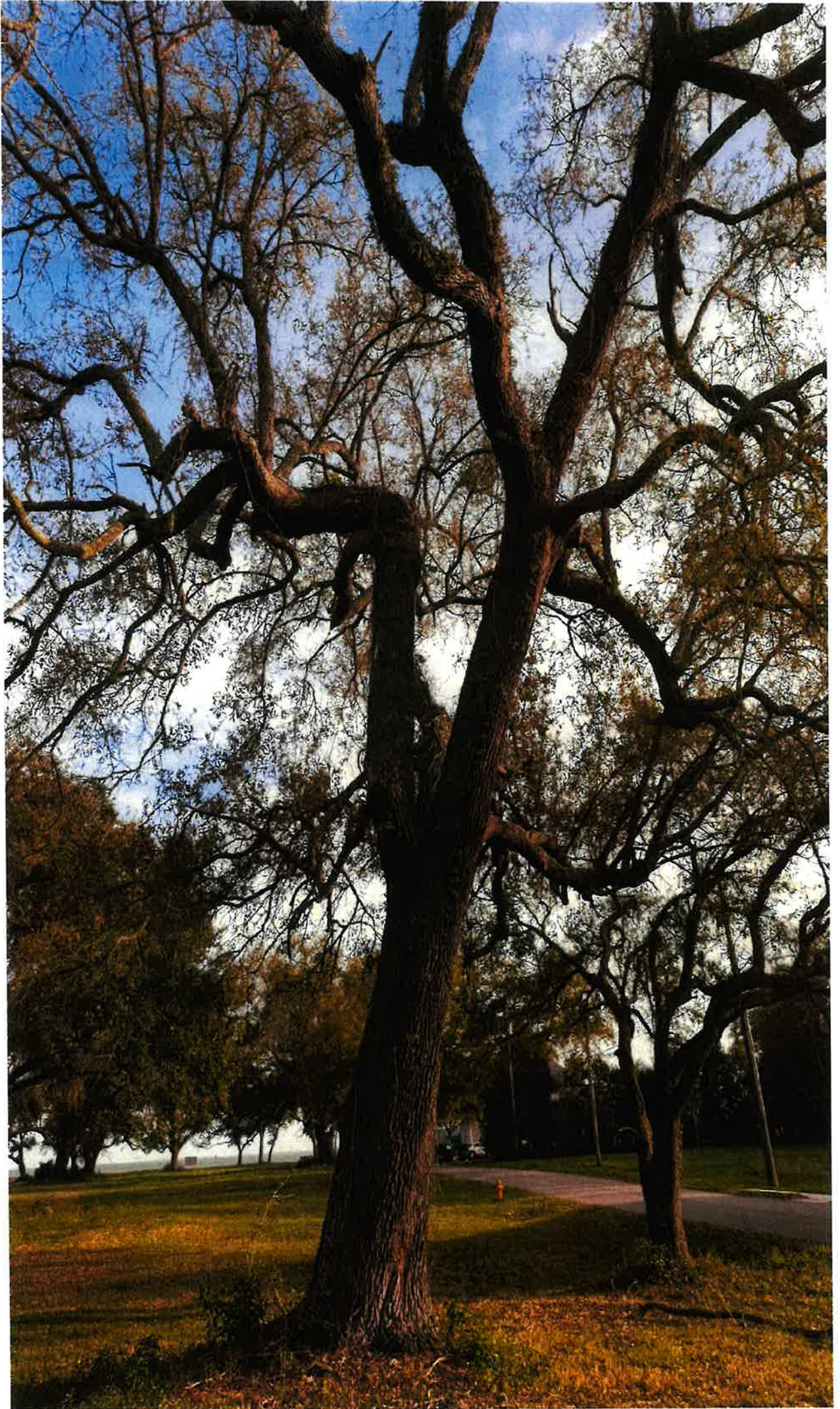
Replant tree's on Lot's in Subdivision
ONCE house's are completed.



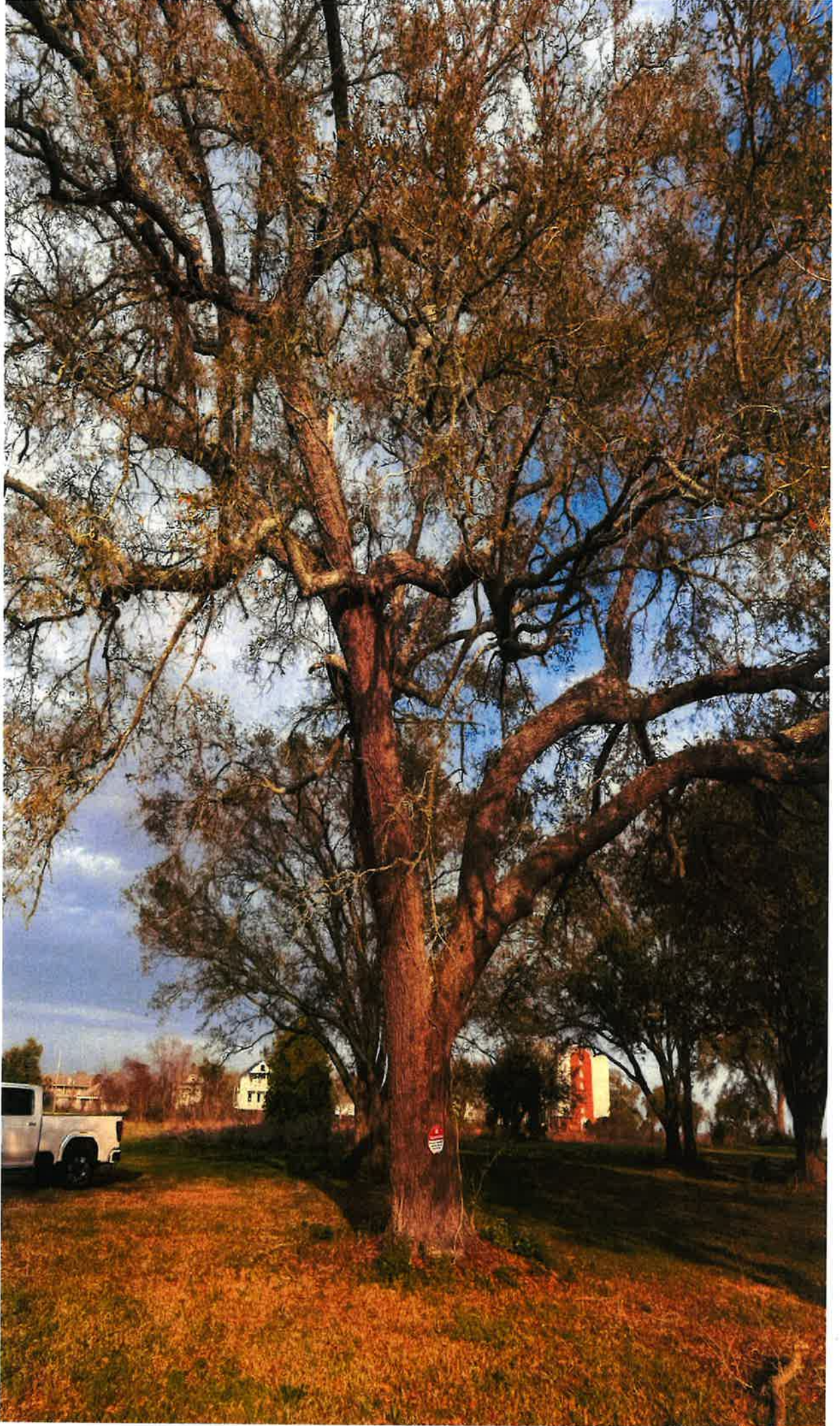
**MINUTES OF APRIL 9, 2026
REGULAR MEETING
LONG BEACH PLANNING and DEVELOPMENT COMMISSION**



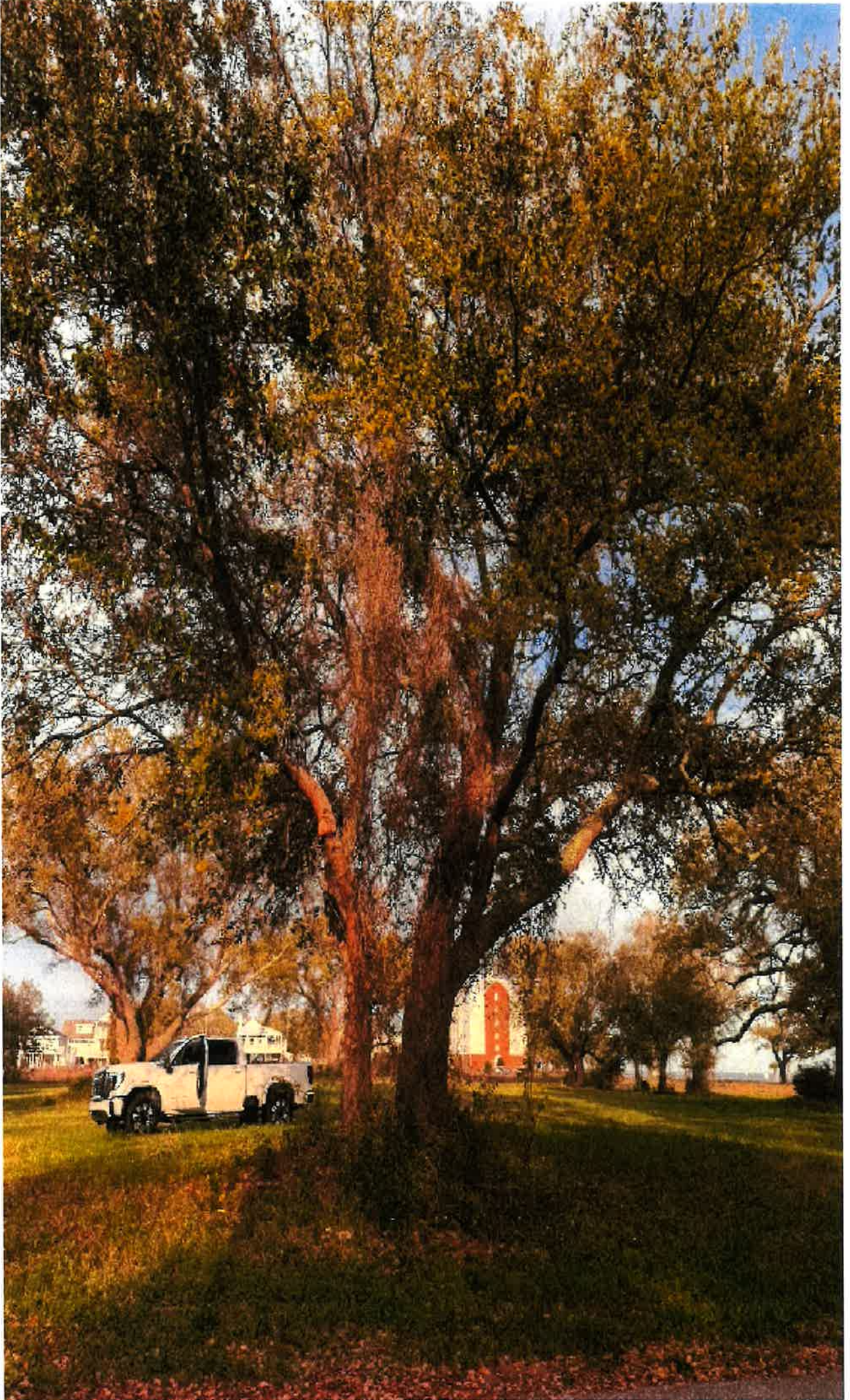
**MINUTES OF APRIL 9, 2026
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LONG BEACH PLANNING and DEVELOPMENT COMMISSION**



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**MINUTES OF APRIL 9, 2026
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**CITY OF LONG BEACH
TREE BOARD COMMITTEE
201 JEFF DAMS AVE
LONG BEACH, MS 39560**

24 March 2026

MEMORANDUM FOR Long Beach, MS Planning Commission

SUBJECT: Recommendation for Tree Removal Application

1. This memorandum addresses the tree removal application for 109 Shelter Rock development site, Long Beach, MS 39560. The Tree Board Committee conducted a thorough site review on March 23, 2026, and evaluated the application in accordance with the city's established tree preservation and removal guidelines.

2. Based on the findings, the Tree Board Committee's response to the application is as follows:

The Tree Board Committee voted to PARTIALLY APPROVE the tree removal request. During the site review, trees #2, #3, and #4 were observed to be old and well established. Tree #1 was observed to be approximately 25 years old or less. The committee determined that tree #1 is appropriate for removal for the purpose of development, but that trees #2, #3, and #4 should be preserved in accordance with Ordinance No. 655 "The Tree Preservation and Protection Ordinance of the City of Long Beach, Mississippi".

3. Board members present and voting during the site review were the following:

1. Michael McGill: Yes
2. Harold Donahue: Yes
3. Sherry Grady: Yes

4. The Point of Contact is Sherry Grady, (228-236-8816) sherryb1231@yahoo.com

Sherry Grady
Board Member
Long Beach Tree Board

**MINUTES OF APRIL 9, 2026
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Chairman David DiLorenzo stated this item will be removed from Unfinished Business as the Mayor and Board of Aldermen met with the developer and resolved some of the issues by agreeing to allow the removal of Live Oak Trees 1, 3 and 4 from the property. Any other trees that may need to be removed will require permits.

It came for discussion under New Business, a Tree Removal for the property located at 20025 Patton Road, Tax Parcel 0511I-01-043.000, submitted by Wayne and Margaret Marie, as follows:

**MINUTES OF APRIL 9, 2026
REGULAR MEETING
LONG BEACH PLANNING and DEVELOPMENT COMMISSION**



CITY OF LONG BEACH, MISSISSIPPI
201 Jeff Davis Avenue
P.O. Box 929
Long Beach, MS 39560
(228) 863-1554
(228) 863-1558 fax

APPLICATION FOR TREE PERMIT

OFFICE USE ONLY	
Date Received	4/2/26
Zoning	R-1
Agenda Date	4/9/26
Check Number	CASH

(Initial on the line that you've read each)

WM Routine trimming does not require a permit. The reason for pruning may include, but are not limited to, reducing risk, maintaining or improving tree health and structure, improving aesthetics, or satisfying a specific need. The City of Long Beach does recommend you obtain a licensed Arborist for your and the tree protection.

WM Any single-family Residential, Multi-Family Residential, Commercial or Industrial Zoned areas need a permit to remove a Live Oak or Magnolia tree with its root system, growing upon the earth usually with one trunk or at least eighteen (18) inches in circumference or larger, measured four and one-half (4 1/2) feet above the surface of the ground, or a multi-stemmed trunk system with a definitely formed crowned.

WM Any person desiring a permit for removal of any Live Oak or Magnolia tree, shall submit this application and a filing fee of \$25.00 per parcel of land to which such application pertains.

TODAY'S DATE: 4/2/26

PROPERTY INFORMATION

TAX PARCEL # 05111-01-043-000

Address of Property Involved: 20025 PATTON RD
LONG BEACH 39560

Property owner name: Wayne + Margaret Marie
Are you the legal owner of the above property? Yes No If No, written consent from the owner is needed. Please provide a statement that: no person, not listed on this application, has any interest in the title in or to the property.

Property owner address: 20025 Patton Road

Phone No. (228) 380-6224

CONTRACTOR OR APPLICANT INFORMATION

Company Name: _____

Phone No. (228) 380-6224 Fax (228) 868-7034

Name Wayne + Margaret Marie

Address 20025 Patton Rd

PERMIT INFORMATION

Permit for: Removal Trimming _____ Pruning _____

What is the reason the tree needs to be removed? Be specific ex. Construction, street or roadway, recreational area, patio, parking lot, diseased tree not worthy of preservation, etc.:

Cracking exterior walls
Most of tree leaning over house
Cracking slab + Plumbing
Insurance up to 7,200 wind + hail

Number of Trees:

1 Live Oak _____ Southern Magnolia

I hereby certify that I have read this application and that all information contained herein is true and correct; that I agree to comply with all applicable codes, ordinances and state laws regulation construction; that I am the owner or authorized to act as the owner's agent for the herein described work.

Wayne Marie 4/2/26
Signature Date

ADDITIONAL INFORMATION REQUIRED FROM APPLICANT

(Initial on the line that you've read each)

WM TREE SITE PLAN: Please provide a map or diagram of the parcel of land, specifically designating the area or areas of proposed tree removal and the proposed use of such area. Please include the following: 1) location of all protected and large shade trees on the property, their size and species 2) Designate which are disease/or damaged, 3) designate which are endangering any roadway, pavement, or utility line. 4) any proposed grade changes that might adversely affect or endanger any trees on the site and specify how to maintain them 5) designate the trees to be removed and the trees to be maintained, and 5) location of existing and/or proposed structures.

WM PHOTOGRAPH: You must attach a photograph of the tree to be removed, the photo must show any damage the tree is causing.

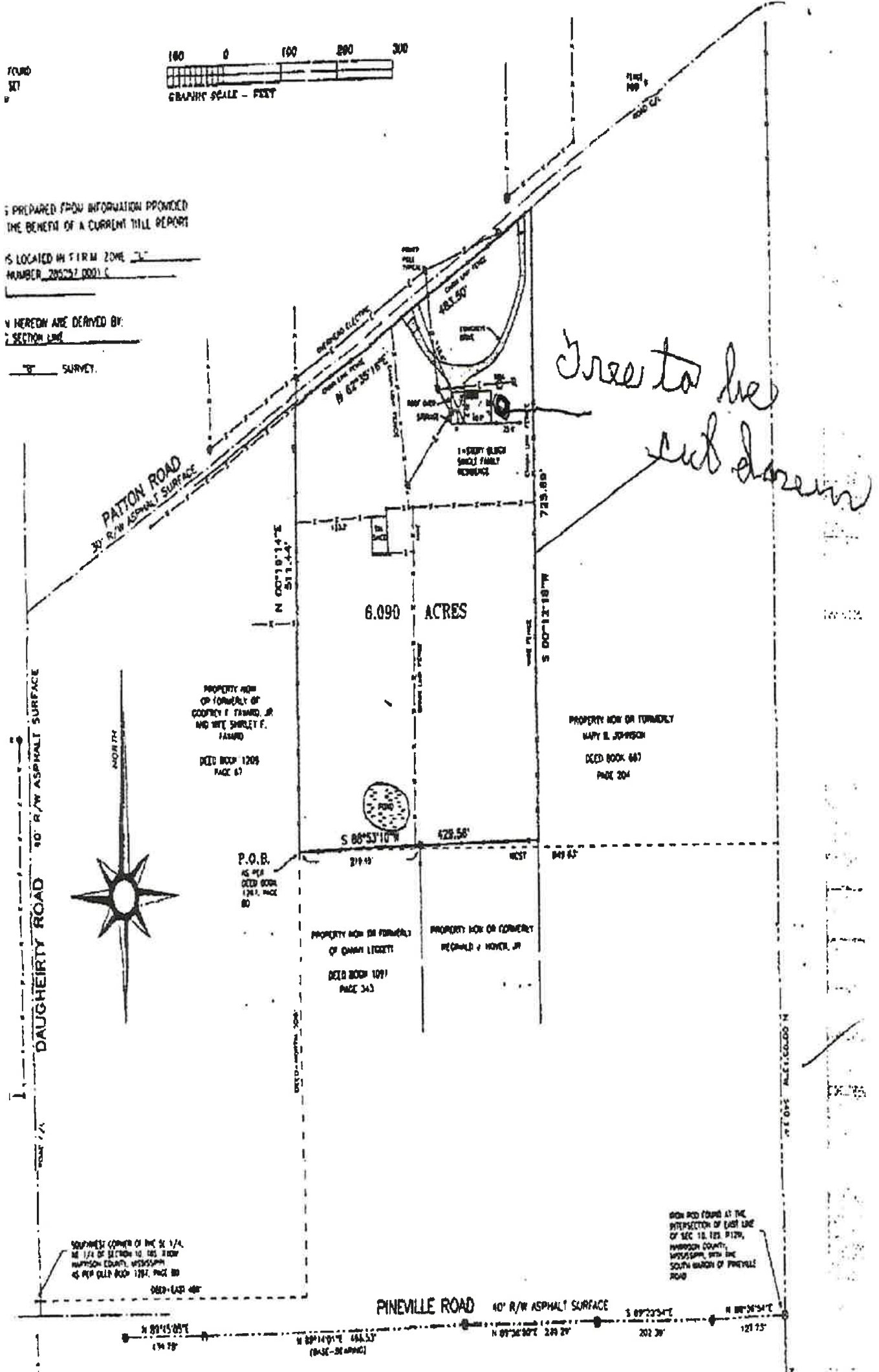
WM OWNERSHIP: Please provide a recorded warranty deed.

WM PERMIT FEES: Upon issuance of a Tree Removal Permit, the permit fee will be as follows: For removal of a tree or trees where such removal of such tree or trees is necessitated by material damage caused by such tree or trees to permanent improvement or improvements on the parcel where such tree or trees are situated a fee of \$1.00 per tree permitted to be removed. For removal of all other trees, a fee of \$45.00 per tree permitted to be removed. As per City of Long Beach Tree Ordinance (#364) any person removing any Live Oak or Magnolia tree within the City of Long Beach, Mississippi, without a valid tree removal permit, shall be guilty of a misdemeanor; and upon conviction thereof shall be sentenced to pay a fine not less than \$500.00 nor more than \$1000.00. The removal of each tree without having first secured a valid tree removal permit shall constitute a separate offense and shall be punishable as such.

WM REPLANTING: As a condition of granting the tree removal permit, the City, acting by and through its Mayor and Board of Aldermen, may require the applicant to relocate or replace trees, but may not require the replacement of trees in a number greater than the number of Live Oak or Magnolia trees removed; trees to be of Four (4) inches caliper deciduous trees or five (5) feet in height of evergreen or Live Oak or Magnolia trees.

WM MEETING: You must attend the Planning Commission meeting, not attending may cause your permit for tree removal to be denied or withheld.

MINUTES OF APRIL 9, 2026
REGULAR MEETING
LONG BEACH PLANNING and DEVELOPMENT COMMISSION

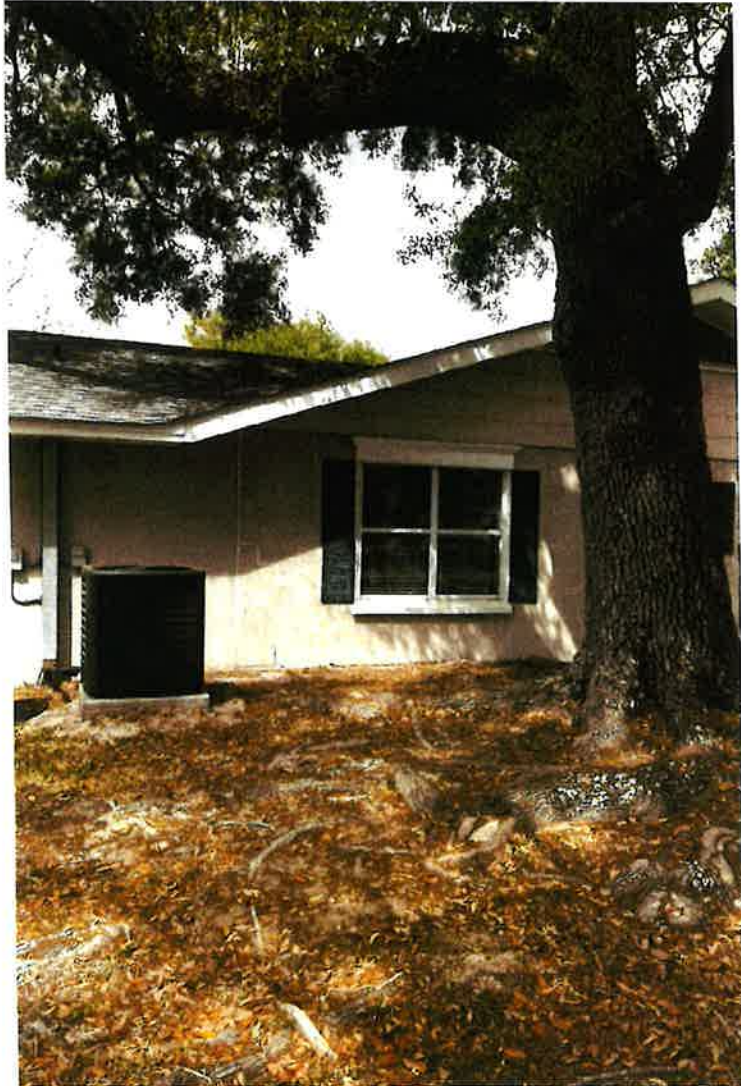


Tree to be cut down

**MINUTES OF APRIL 9, 2026
REGULAR MEETING
LONG BEACH PLANNING and DEVELOPMENT COMMISSION**



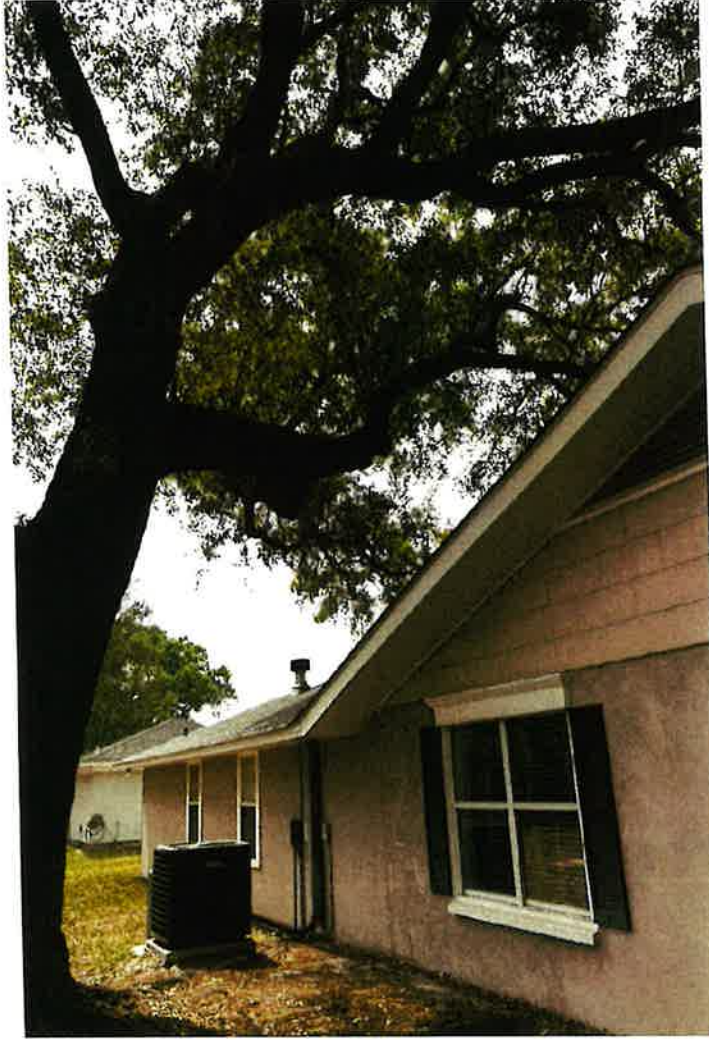
**MINUTES OF APRIL 9, 2026
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**MINUTES OF APRIL 9, 2026
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STATE OF MISSISSIPPI BOOK 1385 PAGE 279
COUNTY OF HARRISON
FIRST JUDICIAL DISTRICT

WARRANTY DEED

For and in consideration of the sum of Ten Dollars (\$10.00) cash in hand paid and other good and valuable considerations, the receipt and sufficiency of all of which is hereby acknowledged, we, **WILLIAM E. BAILEY, III** and wife, **JUDITH NEILL BAILEY**, do hereby sell, convey and warrant unto **WAYNE A. MARIE** and wife, **MARGARET P. MARIE**, as joint tenants with full rights of survivorship and not as tenants in common, the following described real property situated in Harrison County, First Judicial District, Mississippi, described as:

Beginning at a point on the West line of the property conveyed to G.C. Allen by E.R. and P.O. Allen on July 17, 1914 as shown of record in Book 201 at page 541 of the Record of Deeds of Harrison County, Mississippi, which said point is 480 feet East and 506 feet North of the Southwest corner of the SE 1/4 of the NE 1/4 of Section 10, Township 8 South, Range 12 West; running thence from said point North (along West side of the said G.C. Allen tract) 542 feet to a point on Patton Road (said point being the Southwest corner of the 26 acre tract of land formerly belonging to J.E. Allen); thence Northwesterly along said Patton Road and the South line of the said 26 acre tract formerly belonging to J.E. Allen to a point 424 feet East at right angles from the West line of extension thereof from the said G.C. Allen property (said point being 418 feet West of the East line of said Section 10); thence South along the East line of the above mentioned G.C. Allen property to a point 506 feet North of the 1/2 section line running East and West through said Section 10; thence West 428 feet to the Point of Beginning. Being the North six acres, more or less, of the above mentioned property sold to G.C. Allen by E.R. and P.O. Allen.

Said property also being more fully and better shown by a survey prepared by Eugene P. Starum, P.L.S., dated October 3, 1957, a copy being attached hereto and made a part hereof.

The above described property is conveyed subject to restrictions, reservations and easements of record.

It is agreed and understood that the taxes for the current year have been prorated as of this date on an estimated basis, and that when said taxes are actually determined, if the proration as of this date is incorrect, the parties herein agree to pay on a basis of an actual proration. All subsequent years taxes are specifically assumed by the Grantees herein.

WITNESS our signatures this 3rd day of October, 1997.

William E. Bailey III
WILLIAM E. BAILEY, III

Judith Neill Bailey
JUDITH NEILL BAILEY

**MINUTES OF APRIL 9, 2026
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LONG BEACH PLANNING and DEVELOPMENT COMMISSION**

BOOK 1385 PAGE 280

STATE OF MISSISSIPPI
COUNTY OF HARRISON

Personally came and appeared before me, the undersigned authority in and for the jurisdiction aforesaid, the within named WILLIAM E. BAILEY, III and JUDITH NEILL BAILEY, who acknowledged that they signed and delivered the above and foregoing instrument of writing on the day and year therein written.

Given under my hand and official seal of office this 3rd day of October, 1997.



GRANTOR: 114 Clover Avenue
Long Beach, MS 39560
(228) 865-0844

GRANTEE: 105 Waters Lane
Long Beach, MS 39560
(228) 868-7034

THIS INSTRUMENT PREPARED BY:
Julian K. Byrne III
P.O. Box 179
Pena Christian, MS 39571
(601) 452-0408

INDEX THIS INSTRUMENT AS FOLLOWS:
Part of the SE ¼ of the NE ¼ of Sec. 10, T8S,
R12W, Harrison County, MS
ALSO INDEX IN: Long Beach Section Block 45

Tina Dahl

From: Harold Donahue <hdonahue1953@gmail.com>
Sent: Tuesday, April 7, 2026 2:18 PM
To: Tina Dahl
Cc: Jana Montgomery; Jill Cibene; sherryb1231@yahoo.com; Blane Sutton; Michael McGill
Subject: Tree Removal on 20025 Patton Road

Members of the Long Beach Tree Board visited the site on April 6th at 3:30 pm to review the application for the removal of a Live Oak on the above mentioned property. Wayne Marie, the property owner, showed us the tree in question and gave details on ongoing problems. The Oak is roughly 80 years old, healthy and is located 12 feet from the house. The base of the tree is elevated 2 feet and the large roots are above ground. There are several noted problems:

1. 90% of the tree mass is directly over the house. Not leaning but growing over 50% of the house area. Wayne's insurance has increased substantially due to the potential damage from the tree.
2. Numerous large roots are growing under the house and raising the foundation causing 5-6 large obvious cracks in the wall.
3. Roots are impeding the water drainage system.

After reviewing the tree details and discussions with Wayne the 4 attending Tree Board members agreed the Live Oak should be removed as soon as possible!

Michael McGill - yes
Blane Sutton - yes
Jill Cibene - yes
Harold Donahue - yes
Jana Montgomery - absent
Sherry Grady - absent


Harold Donahue
Questions please call 573-825-4479

**MINUTES OF APRIL 9, 2026
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After considerable discussion and upon recommendation made by the City of Long Beach Tree Board, Commissioner Suthoff made motion, seconded by Commissioner Dulaney, and unanimously carried recommending to approve the application as submitted.

It came for discussion under New Business, a Short-Term Rental for the property located at 313 A East 3rd Street, Tax Parcel 0612A-04-047.000, submitted by Harold Peterson (owner) and Lori Strahan (property manager), as follows:

**MINUTES OF APRIL 9, 2026
REGULAR MEETING
LONG BEACH PLANNING and DEVELOPMENT COMMISSION**

CITY OF LONG BEACH, MISSISSIPPI															
APPLICATION FOR SHORT-TERM RENTAL															
PHYSICAL ADDRESS: 201 JEFF DAVIS AVENUE LONG BEACH, MS 39560	PHONE: (228) 863-1554 FAX: (228) 863-1558	MAILING ADDRESS: POST OFFICE BOX 929 LONG BEACH, MS 39560													
PROPERTY INFORMATION:															
ADDRESS: <u>313-A EAST 3rd ST</u>		Tax Parcel # <u>0612A-04-047.000</u>													
(Location of Short-Term Rental)															
OWNER'S INFORMATION:															
Property Owner's Name: <u>Harold Peterson</u>															
Property Owner's Address: <u>644-14 Upper Paradise Rd., Hamilton, Ontario</u>															
Property Owner's Mailing Address, if different from above:															
<u>P.O. Box 506, Long Beach, MS 39560</u>															
City	State	Zip													
Property Owner's Phone No.: <u>801-361-1698</u> Email Address: <u>lorry904@hotmail.com</u>															
Is there a homeowner's association for the neighborhood? _____ If so, please provide written statement of support of short term rental?															
PROPERTY MANAGER INFORMATION:															
Property Manager's Name: <u>Lori Starnan</u>															
Property Manager's Address: (Must be a local contact)															
<u>700 Magnolia St, Long Beach, MS 39560</u>															
City	State,	Zip													
Property Manager's Phone No.: <u>719-291-6051</u> Email Address: <u>10909174@gmail.com</u>															
PLEASE PROVIDE THE FOLLOWING:															
<ul style="list-style-type: none"> • Mississippi Sales Tax ID # <u>13232455</u> • Recorded Warranty Deed <input checked="" type="checkbox"/> • Parking Rules & Plan <input checked="" type="checkbox"/> • Trash Management Plan <input checked="" type="checkbox"/> • Copy of Proposed Rental Agreement <input checked="" type="checkbox"/> • Proof of Liability Insurance, which includes short term rental coverage 															
ADDITIONAL INFORMATION:															
<ul style="list-style-type: none"> • Completed written statement of compliance. • FEES: \$250, nonrefundable application fee. \$500, yearly renewable fee. Checks should be made payable to the City of Long Beach. • LICENSE: A Privilege Tax License must be applied and paid for after approval. • INCOMPLETE APPLICATIONS will not be processed. 															
AFFIDAVIT															
I HEREBY CERTIFY THAT I HAVE READ THIS APPLICATION AND THAT ALL INFORMATION CONTAINED HEREIN TRUE AND CORRECT; I ACKNOWLEDGE RECEIPT OF AND AGREE TO COMPLY WITH THE RULES & REGULATIONS OF SHORT-TERM RENTALS (Ordinance 660), ALL APPLICABLE CODES, ORDINANCES AND STATE LAWS. VIOLATION OF ANY CODES OR REGULATIONS SHALL RESULT IN THE SUSPENSION OR REVOCATION OF THE PERMIT.															
<u>Harold Peterson</u>		<u>3/24/2026</u>													
PRINT NAME	SIGNATURE	DATE													
BELOW IS FOR OFFICE USE ONLY															
Maximum Occupancy: <u>5</u>	Maximum Vehicles allowed: <u>2</u>	Number of bedrooms: <u>2</u>	Number of people home can accommodate: <u>5</u>												
I AFFIRM THAT THE APPLICANT IS IN COMPLIANCE WITH ALL APPLICABLE ZONING REQUIREMENTS, BUILDING & FIRE CODES; AND THAT ALL APPLICABLE TAXES, FEES AND OTHER CHARGES HAVE BEEN PAID.															
Building Official Signature: <u>S Barlow</u>		Date: <u>3/31/26</u>													
Fire Inspector Signature: _____		Date: _____													
COMMENTS: _____															
<table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <td style="width: 33%;">Date Received: <u>3/20/26</u></td> <td style="width: 33%;"></td> <td style="width: 33%;"></td> </tr> <tr> <td>Agenda Date: <u>4/19/26</u></td> <td></td> <td></td> </tr> <tr> <td>Amount Due/Paid: <u>250.00</u></td> <td></td> <td></td> </tr> <tr> <td>Payment Method: <u>CC</u></td> <td></td> <td></td> </tr> </table>				Date Received: <u>3/20/26</u>			Agenda Date: <u>4/19/26</u>			Amount Due/Paid: <u>250.00</u>			Payment Method: <u>CC</u>		
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Amount Due/Paid: <u>250.00</u>															
Payment Method: <u>CC</u>															

L9C 7K8

MINUTES OF APRIL 9, 2026
REGULAR MEETING
LONG BEACH PLANNING and DEVELOPMENT COMMISSION



11 - GULFPORT DISTRICT
Instrument 2021-0229338-0-11
Filed/Recorded 10/21/2021 10:10:01 AM
Total Fees 26.00
3 Pages Recorded

Prepared By and Return To:
Schwartz, Ogler & Jordan, PLLC
12206 Hwy 49
Biltpoon, MS 39519
(228) 832-8559

File#212135

Indexing Instructions:
Part of Lots 3 & 4, Original Long Beach,
Block 1, 1st Judicial District
Harrison County, MS

STATE OF MISSISSIPPI
COUNTY OF HARRISON

WARRANTY DEED

THAT FOR AND IN CONSIDERATION of the sum of Ten and no/100 Dollars (\$10.00), cash in hand paid, and other good and valuable consideration, the receipt and sufficiency of all of which is hereby acknowledged,

Ruth Miller Boaz, a widow
141 Water Oak Drive, #1003
Village Mills, TX 77663
936-672-5255

Does hereby grant, bargain, sell, convey and warrant, unto

Harold Newton Peterson, II
P.O. Box 506
Long Beach, MS 39560
801-361-1688

the following described property, together with the improvements, hereditaments and appurtenances thereto situated and located in the County of Harrison, State of Mississippi, and more particularly described as follows, to-wit:

Lot Three (3), Block Eleven (11), Original Long Beach, according to Porter's map thereof of record in book 11 at Page 6 of the Plat Book records of Harrison County, Mississippi.

LESS AND EXCEPT: A triangle in the Northwest corner thereof described as: Beginning at the Northwest corner of said Lot 3 and running thence East along the North margin of said lot a distance of 12 feet to a point, running thence southerly to the Southwest corner of said lot; running thence northerly along the West line of said lot to the point of beginning.

LESS AND EXCEPT: A parcel of land located in the Southeast corner of Lot Three (3), Block Eleven (11), Original Long Beach, according to Porter's map thereof of record in Plat Book 11 at Page 6 of the Plat Book records of the First Judicial District of Harrison County, Mississippi and being better described as follows:

Beginning at the Southeast corner of said lot, thence run in a southwesterly direction along the South boundary line of said lot the distance of 18.00 feet, more or less; thence run in a northwesterly direction a distance of 75.00 feet, more or less, to a point lying on a line running parallel to the South margin of East Third Street and being 3.00 feet, more or less, West of the East boundary line of said lot; thence run East and parallel to the South margin of East Third Street a distance of 3.00 feet, more or less, to a point located on the East boundary line of said lot; thence run in a southeasterly direction along the East boundary line of said lot to the southeast corner of said lot and the point of beginning.

AND ALSO:

A parcel of land located in the Northwest corner of Lot Four (4), Block Eleven (11), Original Long Beach, according to Porter's map thereof of record in Plat 11 at Page 6 of the Plat Book Records of the First Judicial District of Harrison County, Mississippi, and being better described as follows:

Beginning at the Northwest corner of said lot, thence run in a southeasterly direction along the West boundary line of said lot a distance of 73.00 feet to a point; thence run in a northerly direction to a point lying on the northern boundary line of the said lot and being 10.00 feet east to a point of beginning; thence run in a southwesterly direction along the North boundary line of said lot a distance of 10.00 feet to the Northwest corner of said lot and the point beginning

THIS CONVEYANCE is subject to any and all recorded restrictive covenants, rights of way and easements applicable to subject property, and any prior recorded reservations, conveyances and leases of oil, gas and minerals by previous owners of subject property

Estimated county ad valorem taxes have been prorated between the parties as a part of the consideration for this conveyance. In the event the estimates upon which such proration is based prove to be inaccurate for any reason, the Grantee agrees to refund any excess, and the Grantor agrees to pay any deficiency, upon receipt of a copy of the tax statement for the current year and a computation of the true amount due, based on a 365 day year.

THIS CONVEYANCE is also subject to Zoning and/or other land use regulations promulgated by federal, state or local governments affecting the use or occupancy of the subject property

WITNESS THE SIGNATURE of the Grantor on this the 26th day of October, 2021.

Ruth Miller Boaz
Ruth Miller Boaz

STATE OF MISSISSIPPI
COUNTY OF HARRISON

THIS DAY personally appeared before me, the undersigned authority in and for the jurisdiction aforesaid, Ruth Miller Boaz, a widow, who acknowledged that before signed, executed and delivered the above and foregoing instrument as a voluntary act and deed on the day and year therein mentioned.

GIVEN under my hand and official seal on this the 20th day of October, 2021.

(N Y A T)

My Commission Expires:



**MINUTES OF APRIL 9, 2026
REGULAR MEETING
LONG BEACH PLANNING and DEVELOPMENT COMMISSION**

**LEASE AGREEMENT
Coastal Breeze Cottage
313-B East Third Street
Long Beach, Mississippi 39560**

Thank you for selecting our vacation home.

The Booking Guest confirms that: **"he/she is over the age of 25 and has read & agrees to all the terms of the lease agreement. And that any guest over the age of 18 also agrees with the terms of the contract"**.

We make every effort to ensure your check-in time is upheld but sometimes unforeseen issues may delay check-in. Thank You

Sincerely,

Harold Peterson

Lease Agreement

Check-in Time: 4:00 pm or 1600 hrs., **Check-out Time:** 11:00 am or 1100 hrs.
Any unauthorized early check-in or late check-out without consent could result in a \$50.00 an hour fee of any hours exceeding the set times and extreme situations legal action.

This is a NON-SMOKING unit.

PETS: This property has a NO Pet policy which includes service, medical, support, etc. animals. This policy can be waived but only in writing prior to check-in by the owner! Any animal allowed in the home regardless to being a guests animal or a visitor's animal without written consent will be automatically deemed as a violation of this lease agreement, extra fees will be assessed, etc. Thank you

MAXIMUM OCCUPANCY: Maximum 3 (unless otherwise approved in advance) number of overnight guests is limited to as per the number posted on the website. The owner reserves the right to refuse access to any other person and/or additional guests that were not originally approved upon arrival or during the occupancy and/or assess additional fees. Any waiver of this policy must be agreed upon by the owner prior to leasing agreement in writing.

***PARKING:** No more than 2 vehicles. Ample parking on Eastside (of the large cottage) straight driveway to the home. No trailers unless approved. No parking on grass, on street or in front of residence or other surrounding properties. Contact me if any additional parking is needed.

***TRASH/GARBAGE:** There is two (2) roller trash containers & one (1) Recycle bin for guests at both 313-A & B to share during their stay on the Eastside of 313-A for guests' use. If staying on Sunday or checking out Sunday morning, please roll all containers to (the main) street for early pickup on Monday morning. Will advise if trash pickup is set for Tuesday mornings due to holidays, etc.

GATHERINGS/EVENTS: No major gatherings or events allowed at the home. We do understand that guests might have family, friends, etc. in the area that might visit at the home. Please be respectful of the neighborhood. Any complaints will be dealt with directly and could result in removal from home/property.

DAILY HOUSEKEEPING: Is not provided. While linens and bath towels are included with the cottage, daily maid service is not provided. We do not permit towels or linens to be taken out of the cottage except for some beach towels in the cottage...we recommend all guests bring their own beach towels. There is a washer and dryer within the cottage, the guests at any time during their stay may use them for their needs. For stays 7 days or longer guests can request housekeeping for a fee. Please contact us for the amounts.

SECURITY DEPOSIT: Any security deposit paid. The Security Deposit is required by our insurance carrier and is non-negotiable. The security deposit will be refunded to the guest within 30 days of Check-out. In most cases the deposit will be refunded sooner once the property is inspected by the Cottage Manager. The Owners do reserve the right to collect any funds for the following:

- (1) Lost or misplaced keys for cottage could result in a \$10 or more charge. Please keep track of keys for security reasons, etc.
- (2) Damage to cottage or its contents, beyond normal wear and tear.
- (3) Charges incurred due to contraband, pets, unlawful activities or any unforeseen issues.
- (4) Theft of any property or product associated with the grounds of the cottage.
- (5) Eviction charges incurred by the owner, representative of the owner or local law enforcement.
- (6) Allowing an unapproved pet within the property.

Please leave the premises as you found it. Guests will be responsible for any damage caused directly or indirectly by themselves or their guests during the stay. ***We will charge for any damage or missing items. (please notify owners to any problems or issues at the time of check-in). example: We are not concerned if your three-year-old breaks a glass but please let us know!** We will submit to the Guest an itemized list of any lawful deductions and damages that have been determined within 14 days of departure.

RATE CHANGES: Future rates subject to change without notice.

FALSIFIED RESERVATIONS: Any reservation obtained under false pretenses will be subject to forfeiture of advance payment, deposit and/or rental money and the party will not be permitted to check in.

MINUTES OF APRIL 9, 2026 REGULAR MEETING LONG BEACH PLANNING and DEVELOPMENT COMMISSION

STORM/WEATHER OR EMERGENCY POLICY: If a catastrophe (hurricane, tropical storm, tornado, earthquake, flood, hail, etc.) or in the case of an emergency (riot, war, unlawful acts of others) that would impair a vacation, injures the guest or damages/destroys the guests' personal property the owner is not responsible and not responsible for any of the following:

- *Finding alternate lodgings.
- *Financial losses related to transportation or alternate lodging for the guests
- *Medical, legal fees, etc. that might result due to the event or activity listed above suffered by the guests

If on the day that the rental is scheduled to begin, the property is uninhabitable or the property is not reachable by the usual means of transportation or access to the property by visitors is prohibited by authorities the owners will refund the guest all monies received relating to the lease. If the situation listed above occurs during the leased period, the guests will be refunded at the pro-rated amount.

Any refunds involving a weather or emergency event will be solely based on a "Government Evacuation Notice" which has been presented as an "order" that must be complied with. If an order has been issued, then the guests must leave the property.

TRAVEL INSURANCE: We highly recommend all guests purchase travel insurance.

The Homeowners are not responsible for any accidents, injuries or illness that occur while on the premises or its facilities. The Homeowners are not responsible for the loss of personal belongings or valuables of the guest. By accepting this reservation, it is agreed that all guests are expressly assuming the risk of any harm arising from their use of the premises or others whom they invite to use the premises.

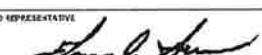
313-B Third St., Long Beach

Number of Vehicles allowed: 2

Vehicles must park on the long driveway on the Eastside of the larger Cottage. Do not block the exit of the "U" driveway exiting onto the end portion of the driveway leading up the smaller home in the rear on the Eastside. For additional parking for visitors, etc. there is enough space, besides the 2 vehicles of the guests, to park at least 2 additional vehicles without blocking the "U" driveway exit to the end of the longer Eastside driveway.

Any trailers, such as car, boat, etc. trailers that might be requested to park for a guest please contact me for the best location on property to park this trailer.

THERE IS NO ON-STREET PARKING ALLOWED AT THIS HOME
Parking Rules & Plan

ACORD		CERTIFICATE OF PROPERTY INSURANCE		DATE (MM/DD/YYYY) 03/20/20		
THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AFFIRMATIVELY OR NEGATIVELY AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW. THIS CERTIFICATE OF INSURANCE DOES NOT CONSTITUTE A CONTRACT BETWEEN THE ISSUING INSURER(S), AUTHORIZED REPRESENTATIVE OR PRODUCER, AND THE CERTIFICATE HOLDER.						
PRODUCER ALLEN INSURANCE AGENCY LLC PO Box 318 Long Beach, MS 39560		CONTACT NAME PHONE (228) 322-1234 FAX EMAIL gallen@alleninsagency.com PROVIDER CLIENTS #		TAX ID #		
INSURED Peterson, Harold 313 E Third St Long Beach, Ms 39560		INSURER A: Peridot Underwriters Agency LLC INSURER B: INSURER C: INSURER D: INSURER E: INSURER F:		POLICIES AFFORDED COVERAGE		
COVERAGES		CERTIFICATE NUMBER:		REVISION NUMBER:		
LOCATION OF PREMISES, DESCRIPTION OF PROPERTY (attach AGORD 101 Additional Details by Schedule, if more space is required)						
THIS IS TO CERTIFY THAT THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED. NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN, THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS AND CONDITIONS OF SUCH POLICIES. LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS.						
ITEM	TYPE OF INSURANCE	POLICY NUMBER	POLICY EFFECTIVE DATE (MM/DD/YYYY)	POLICY EXPIRATION DATE (MM/DD/YYYY)	COVERED PROPERTY	LIMITS
A	<input checked="" type="checkbox"/> PROPERTY	ALISA MS-00010624	01/07/26	01/07/27	<input checked="" type="checkbox"/> BUILDING	\$ 762,000
	<input type="checkbox"/> CAUSES OF LOSS				<input type="checkbox"/> PERSONAL PROPERTY	\$ 65,000
	<input type="checkbox"/> FLOOD				<input type="checkbox"/> RENTAL VALUE	\$ 26,000
	<input type="checkbox"/> WIND				<input type="checkbox"/> BLANKET PERM PROOP	\$
	<input type="checkbox"/> SPECIAL				<input type="checkbox"/> BLANKET 3.00 & PP	\$
	<input type="checkbox"/> SPECIAL				<input checked="" type="checkbox"/> Liability	\$ 300,000
	<input type="checkbox"/> FLOOD					\$
INLAND MARINE		TYPE OF POLICY				\$
CAUSES OF LOSS		POLICY NUMBER				\$
CRIME						\$
TYPE OF POLICY						\$
BUILT-UP MACHINERY/EQUIPMENT BREAKDOWN						\$
SPECIAL CONDITIONS / OTHER COVERAGES (ACORD 101, Additional Details Schedule, may be attached if more space is required)		BP3 - Occupancy - Rental-Short Term/Seasonal Location: 313 E 3rd St Long Beach, MS 39560				
CERTIFICATE HOLDER City Of Long Beach			CANCELLATION SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, NOTICE SHALL BE FURNISHED IN ACCORDANCE WITH THE POLICY PROVISIONS. AUTHORIZED REPRESENTATIVE 			

MINUTES OF APRIL 9, 2026
REGULAR MEETING
LONG BEACH PLANNING and DEVELOPMENT COMMISSION

After considerable discussion, Commissioner Suthoff made motion, seconded by Commissioner Brown and unanimously carried recommending to approve the application as submitted.

It came for discussion under New Business, a Short-Term Rental for the property located at 313 B East 3rd Street, Tax Parcel 0612A-04-047.000, submitted by Harold Peterson (owner) and Lori Strahan (property manager), as follows:

**MINUTES OF APRIL 9, 2026
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LONG BEACH PLANNING and DEVELOPMENT COMMISSION**

CITY OF LONG BEACH, MISSISSIPPI							
APPLICATION FOR SHORT-TERM RENTAL							
PHYSICAL ADDRESS: 201 JEFF DAVIS AVENUE LONG BEACH, MS 39560	PHONE: (228) 863-1554 FAX: (228) 863-1558	MAILING ADDRESS: POST OFFICE BOX 929 LONG BEACH, MS 39560					
PROPERTY INFORMATION:							
ADDRESS: <u>213-B EAST 3rd ST Long Beach</u> Tax Parcel # <u>0612A-04-047000</u> <small>(Location of Short-Term Rental)</small>							
OWNER'S INFORMATION:							
Property Owner's Name: <u>HAROLD PETERSON</u>							
Property Owner's Address: <u>644-14 Upper PARADISE RD. Hamilton, ONTARIO L9C 7K9</u>							
Property Owner's Mailing Address, if different from above: <u>P.O. Box 506, Long Beach, MS 39560</u> <small>City State Zip</small>							
Property Owner's Phone No: <u>801-361-1688</u> Email Address: <u>COAKY904@hotmail.com</u>							
Is there a homeowner's association for the neighborhood? _____ If so, please provide written statement of support of short term rental?							
PROPERTY MANAGER INFORMATION:							
Property Manager's Name: <u>LORI STRAHAN</u>							
Property Manager's Address: (Must be a local contact) <u>700 MAGNOLIA ST, Long Beach, MS 39560</u> <small>City State, Zip</small>							
Property Manager's Phone No.: <u>719-231-6051</u> Email Address: <u>1US031474@gmail.com</u>							
PLEASE PROVIDE THE FOLLOWING:							
<ul style="list-style-type: none"> • Mississippi Sales Tax ID # <u>13232455</u> • Recorded Warranty Deed ✓ • Parking Rules & Plan ✓ • Trash Management Plan ✓ • Copy of Proposed Rental Agreement ✓ • Proof of Liability Insurance, which includes short term rental coverage ✓ 							
ADDITIONAL INFORMATION:							
<ul style="list-style-type: none"> • Completed written statement of compliance. • FEES: \$250, nonrefundable application fee. \$500, yearly renewable fee. Checks should be made payable to the City of Long Beach. • LICENSE: A Privilege Tax License must be applied and paid for after approval. • INCOMPLETE APPLICATIONS will not be processed. 							
AFFIDAVIT							
I HEREBY CERTIFY THAT I HAVE READ THIS APPLICATION AND THAT ALL INFORMATION CONTAINED HEREIN TRUE AND CORRECT; I ACKNOWLEDGE RECEIPT OF AND AGREE TO COMPLY WITH THE RULES & REGULATIONS OF SHORT-TERM RENTALS (Ordinance 660), ALL APPLICABLE CODES, ORDINANCES AND STATE LAWS. VIOLATION OF ANY CODES OR REGULATIONS SHALL RESULT IN THE SUSPENSION OR REVOCATION OF THE PERMIT.							
<u>Harold Peterson</u> PRINT NAME	 SIGNATURE	<u>3/20/2026</u> DATE					
BELOW IS FOR OFFICE USE ONLY							
Maximum Occupancy: <u>4</u>	Maximum Vehicles allowed: <u>2</u>	Number of bedrooms: <u>2</u>	Number of people home can accommodate: <u>4</u>				
I AFFIRM THAT THE APPLICANT IS IN COMPLIANCE WITH ALL APPLICABLE ZONING REQUIREMENTS, BUILDING & FIRE CODES; AND THAT ALL APPLICABLE TAXES, FEES AND OTHER CHARGES HAVE BEEN PAID.							
Building Official Signature: <u>S Barlow</u>		Date: <u>3/31/26</u>					
Fire Inspector Signature: _____		Date: _____					
COMMENTS: _____							
<table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <td style="padding: 2px;">Date Received: <u>3/20/26</u></td> </tr> <tr> <td style="padding: 2px;">Agenda Date: <u>4/9/26</u></td> </tr> <tr> <td style="padding: 2px;">Amount Due/Paid: <u>2500</u></td> </tr> <tr> <td style="padding: 2px;">Payment Method: <u>CC</u></td> </tr> </table>				Date Received: <u>3/20/26</u>	Agenda Date: <u>4/9/26</u>	Amount Due/Paid: <u>2500</u>	Payment Method: <u>CC</u>
Date Received: <u>3/20/26</u>							
Agenda Date: <u>4/9/26</u>							
Amount Due/Paid: <u>2500</u>							
Payment Method: <u>CC</u>							

**MINUTES OF APRIL 9, 2026
REGULAR MEETING
LONG BEACH PLANNING and DEVELOPMENT COMMISSION**



Prepared By and Return To:
Schwartz, Cigler & Jordan, PLLC
12206 Hwy 49
Cullman, MS 39003
(228) 832-8550

Indexing Instructions:
Part of Lots 3 & 4, Original Long Beach,
Block 11, 1st Judicial District
Harrison County, MS

File#2:2135

STATE OF MISSISSIPPI
COUNTY OF HARRISON

WARRANTY DEED

THAT FOR AND IN CONSIDERATION of the sum of Ten and no/100 Dollars (\$10.00), cash in hand paid, and other good and valuable consideration, the receipt and sufficiency of all of which is hereby acknowledged,

Ruth Miller Booz, a widow
141 Water Oak Drive, #1063
Village Mills, TX 77663
936 672-5255

does hereby grant, bargain, sell, convey and warrant, unto

Harold Newton Peterson, II
P.O. Box 506
Long Beach, MS 39560
801-361-1698

the following described property, together with the improvements, hereditaments and appurtenances thereunto situated and located in the County of Harrison, State of Mississippi, and more particularly described as follows, to-wit:

Lot Three (3), Block Eleven (11), Original Long Beach, according to Porter's map thereof of record in book 11 at Page 6 of the Plat Book records of Harrison County, Mississippi.

LESS AND EXCEPT: A triangle in the Northwest corner thereof described as beginning at the Northwest corner of said Lot 3 and running thence East along the North margin of said lot a distance of 12 feet to a point, running thence southerly to the Southwest corner of said lot, running thence northerly along the West line of said lot to the point of beginning.

LESS AND EXCEPT: A parcel of land located in the Southeast corner of Lot Three (3), Block Eleven (11), Original Long Beach, according to Porter's map thereof of record in Plat Book 11 at Page 6 of the Plat Book records of the First Judicial District of Harrison County, Mississippi and being better described as follows:

Beginning at the Southeast corner of said lot, thence run in a southwesterly direction along the South boundary line of said lot the distance of 10.00 feet, more or less; thence run in a northwesterly direction a distance of 75.00 feet, more or less, to a point lying on a line running parallel to the South margin of East Third Street and being 3.00 feet, more or less, West of the East boundary line of said lot; thence run East and parallel to the South margin of East Third Street a distance of 3.00 feet, more or less, to a point located on the East boundary line of said lot; thence run in a southeasterly direction along the East boundary line of said lot to the southeast corner of said lot and the point of beginning.

AND ALSO:

A parcel of land located in the Northwest corner of Lot Four (4), Block Eleven (11), Original Long Beach, according to Porter's map thereof of record in Plat 11 at Page 6 of the Plat Book Records of the First Judicial District of Harrison County, Mississippi, and being better described as follows:

Beginning at the Northwest corner of said lot, thence run in a southeasterly direction along the West boundary line of said lot a distance of 33.00 feet to a point; thence run in a northerly direction to a point lying on the northern boundary line of the said lot and being 10.00 feet east to a point of beginning; thence run in a southwesterly direction along the North boundary line of said lot a distance of 10.00 feet to the Northwest corner of said lot and the point beginning.

THIS CONVEYANCE is subject to any and all recorded restrictive covenants, rights-of-way and easements applicable to subject property, and any prior recorded reservations, conveyances and leases of oil, gas and minerals by previous owners of subject property.

Estimated county ad valorem taxes have been prorated between the parties as a part of the consideration for this conveyance. In the event the estimates upon which such proration is based prove to be inaccurate for any reason, the Grantee agrees to refund any excess, and the Grantor agrees to pay any deficiency, upon receipt of a copy of the tax statement for the current year and a computation of the tax amount due, based on a 365 day year.

THIS CONVEYANCE is also subject to Zoning and/or other land use regulations promulgated by federal, state or local governments affecting the use or occupancy of the subject property.

WITNESS THE SIGNATURE of the Grantor on this the 20th day of October, 2021.


Ruth Miller Booz

STATE OF MISSISSIPPI
COUNTY OF HARRISON

THIS DAY personally appeared before me, the undersigned authority in and for the jurisdiction aforesaid, Ruth Miller Booz, a widow, who acknowledged that he/she signed, executed and delivered the above and foregoing instrument as a voluntary act and deed on the day and year therein mentioned.

GIVEN under my hand and official seal on this the 20th day of October, 2021.

(SEAL)

My Commission Expires:



**MINUTES OF APRIL 9, 2026
REGULAR MEETING
LONG BEACH PLANNING and DEVELOPMENT COMMISSION**

LEASE AGREEMENT
Coastal Breeze Cottage
313-A East Third Street
Long Beach, Mississippi 39560

Thank you for selecting our vacation home.

The Booking Guest confirms that: **"he/she is over the age of 25 and has read & agrees to all the terms of the lease agreement. And that any guest over the age of 18 also agrees with the terms of the contract"**.

We make every effort to ensure your check-in time is upheld but sometimes unforeseen issues may delay check-in. Thank You

Sincerely,

Harold

Lease Agreement

Check-in Time: 4:00 pm or 1600 hrs., **Check-out Time:** 11:00 am or 1100 hrs.
Any unauthorized early check-in or late check-out without consent could result in a \$50.00 an hour fee of any hours exceeding the set times and extreme situations legal action.

This is a NON-SMOKING unit.

PETS: Unless approved at time of reservation this property will be deemed no pets allowed during your lease period. Which means if you have not had any pet that is staying with you prior to your check-in approved, regardless of medical, assistance, support, etc. animal or a visitor bringing a pet you are in violation of this lease agreement. Please, any animal being in the home must be approved prior. Pet must meet the listed breed, size, weight limits listed on the webpage.

MAXIMUM OCCUPANCY: Maximum 5 (unless otherwise approved in advance) number of overnight guests is limited to as per the number posted on the website. The owner reserves the right to refuse access to any other person and/or additional guests that were not originally approved upon arrival or during the occupancy and/or assess additional fees. Any waiver of this policy must be agreed upon by the owner prior to leasing agreement in writing.

PARKING: No more than 2 vehicles. Ample parking on driveway to the home. No trailers unless approved. No parking on grass, on street or in front of residence or other surrounding properties. Contact me if any additional parking is needed.

TRASH/GARBAGE: There is two (2) roller trash containers & one (1) Recycle bin for guests at both 313-A & B to share during their stay on the Eastside of 313-A for guests' use. If staying on Sunday or checking out Sunday morning, please roll all containers to (the main) street for early pickup on Monday morning. Will advise if trash pickup is set for Tuesday mornings due to holidays, etc.

GATHERINGS/EVENTS: No major gatherings or events allowed at the home. We do understand that guests might have family, friends, etc. in the area that might visit at the home. Please be respectful of the neighborhood. Any complaints will be dealt with directly and could result in removal from home/property.

DAILY HOUSEKEEPING: Is not provided. While linens and bath towels are included with the cottage, daily maid service is not provided. We do not permit towels or linens to be taken out of the cottage except for some beach towels in the cottage...we recommend all guests bring their own beach towels. There is a washer and dryer within the cottage, the guests at any time during their stay may use them for their needs. For stays 7 days or longer guests can request housekeeping for a fee. Please contact us for the amounts.

SECURITY DEPOSIT: Any security deposit paid. The Security Deposit is required by our insurance carrier and is non-negotiable. The security deposit will be refunded to the guest within 30 days of Check-out. In most cases the deposit will be refunded sooner once the property is inspected by the Cottage Manager. The Owners do reserve the right to collect any funds for the following:

- (1) Lost or misplaced keys for cottage could result in a \$10 or more charge. Please keep track of keys for security reasons, etc.
- (2) Damage to cottage or its contents, beyond normal wear and tear.
- (3) Charges incurred due to contraband, pets, unlawful activities or any unforeseen issues.
- (4) Theft of any property or product associated with the grounds of the cottage.
- (5) Eviction charges incurred by the owner, representative of the owner or local law enforcement.
- (6) Allowing an unapproved pet within the property.

Please leave the premises as you found it. Guests will be responsible for any damage caused directly or indirectly by themselves or their guests during the stay. ***We will charge for any damage or missing items. (please notify owners to any problems or issues at the time of check-in). example: We are not concerned if your three-year-old breaks a glass but please let us know!** We will submit to the Guest an itemized list of any lawful deductions and damages that have been determined within 14 days of departure.

RATE CHANGES: Future rates subject to change without notice.

FAISIFIED RESERVATIONS: Any reservation obtained under false pretenses will be subject to forfeiture of advance payment, deposit and/or rental money and the party will not be permitted to check in.

**MINUTES OF APRIL 9, 2026
REGULAR MEETING
LONG BEACH PLANNING and DEVELOPMENT COMMISSION**

After discussion, Commissioner Suthoff made motion, seconded by Commissioner Dulaney and unanimously carried recommending to approve the application as submitted.

It came for discussion under New Business, a Certificate of Resubdivision for the property located at 0 Commission Road, Tax Parcel 0611J-01-029.001, submitted by Michael Levens, as follows:

MINUTES OF APRIL 9, 2026
REGULAR MEETING
LONG BEACH PLANNING and DEVELOPMENT COMMISSION



CITY OF LONG BEACH
PLANNING DEPARTMENT
201 JEFF DAVIS AVENUE
PO BOX 929
LONG BEACH, MS 39560
(228) 863-1554
(228) 863-1558 FAX

Office use only
Date Received 2-17-26
Zoning R-1
Agenda Date 4-9-26
Check Number 1109

APPLICATION FOR CERTIFICATE OF RESUBDIVISION

- I. TYPE OF CASE: CERTIFICATE OF RESUBDIVISION
- II. ADVALOREM TAX PARCEL NUMBER(S): 0611J-01-029.001
- III. GENERAL LOCATION OF PROPERTY INVOLVED: Commission Rd
- IV. ADDRESS OF PROPERTY INVOLVED: 0 Commission Rd
- V. GENERAL DESCRIPTION OF REQUEST: Resubdivision of Parcel A (1.22 acres)
Into 2 lots, Parcel 1 (.66 acres) + Parcel 2 (.56 acres)

- VI. REQUIRED ATTACHMENTS:
 - A. Resubdivision Survey and Certificate (see attached example) on no less than 11" X 17" paper.
 - B. Cash or check payable to the City of Long Beach in the amount of \$375.00
 - C. Proof of ownership (copy of recorded warranty deed) if applicable proof of authority to act as agent for owner.

*****NOTE*** APPLICATION WILL NOT BE ACCEPTED WITHOUT THE ABOVE LISTED DOCUMENTS.**

VII. OWNERSHIP AND CERTIFICATION:

READ BEFORE EXECUTING, the applicant acknowledges that, in signing this application, all conditions and requirements inherent in the process have been fully explained and understood, including the timetable for processing the application, the completed application with all necessary documents and payments must be returned to the Planning office not later than fifteen (15) days before the 2nd or 4th Thursday of each month. Receipt of fee(s) does not constitute receipt of a completed application.

Ownership: I the undersigned do hereby agree to all the rules and regulations as set forth in the Long Beach Zoning Ordinance and agree to pay all fees and charges as stated.

Michael Lewis
Name of Rightful Owner (PRINT)

18564 Ray Rd
Owner's Mailing Address

Long Beach, MS 39560
City State Zip

228-669-4814
Phone

[Signature] 2/10/26
Signature of Rightful Owner Date

Name of Agent (PRINT)

Agent's Mailing Address

City State Zip

Phone

Signature of Applicant Date

MINUTES OF APRIL 9, 2026
REGULAR MEETING
LONG BEACH PLANNING and DEVELOPMENT COMMISSION



1st Judicial District
Instrument 2020 2857 D - J-1
Filed/Recorded 8/18/2020 12:15 M
Total Fees \$ 26.10
4 Pages Recorded



[Space Above This Line For Recording Data]

Prepared by and Return to:
Patrick A. Sheehan
Sheehan & Ramsey, PLLC
429 Porter Avenue
Ocean Springs, MS. 39564
(228) 875-0572

Grantor:
Bruce Wayne Cuevas, Trustee
20731 N. 62 Drive
Glendale, AZ 85308
(602) 291-6464

Grantee
Michael Paul Levens and
Briana Christine Levens
30093 Lovers Lane
Long Beach, MS 39560
(228) 669-4814

INDEXING INSTRUCTIONS:
STATE OF MISSISSIPPI
COUNTY OF HARRISON

WARRANTY DEED

FOR AND IN CONSIDERATION of the sum of TEN AND NO/100's (\$10.00) DOLLARS, cash in hand paid, and other good and valuable consideration, the receipt of which is hereby acknowledged, BRUCE WAYNE CUEVAS, as Trustee of the BRUCE WAYNE CUEVAS TRUST w/t/a dated 7/9/98, w/t/a BRUCE WAYNE CUEVAS LIVING TRUST (Grantor) does hereby sell, convey, bargain and warrant to MICHAEL PAUL LEVENS and BRIANA CHRISTINE LEVENS, tenants by the entirety with full rights of survivorship (Grantees) the following described real property situated and located in Harrison County, First Judicial District, Mississippi, more particularly and certainly described as follows:

Page 1 of 3

SEE ATTACHED EXHIBIT "A"

This conveyance is subject to any prior reservation or conveyance of oil, gas or other mineral rights and subject to all easements, restrictions, reservations and covenants of record.

Ad Valorem taxes for the year 2020 have been prorated between the parties hereto and the obligation to pay same is assumed by the Grantees herein, who will pay same when due.

WITNESS this my signature this the 26 day of February, 2020.

Bruce Wayne Cuevas
BRUCE WAYNE CUEVAS, Trustee
Of the Bruce Wayne Cuevas Trust w/t/a
7/9/98 w/t/a BRUCE WAYNE CUEVAS
LIVING TRUST

STATE OF ARIZONA
COUNTY OF MARICOPA

On February 26, 2020, before me DONNA NORMAN, a Notary Public, personally appeared BRUCE WAYNE CUEVAS, who proved to me on the basis of satisfactory evidence to be the person whose name is subscribed to the within instrument and acknowledged to me that he executed the same in his authorized capacity, and that by his signature on the instrument the person, or the entity upon behalf of which the person acted, executed the instrument.

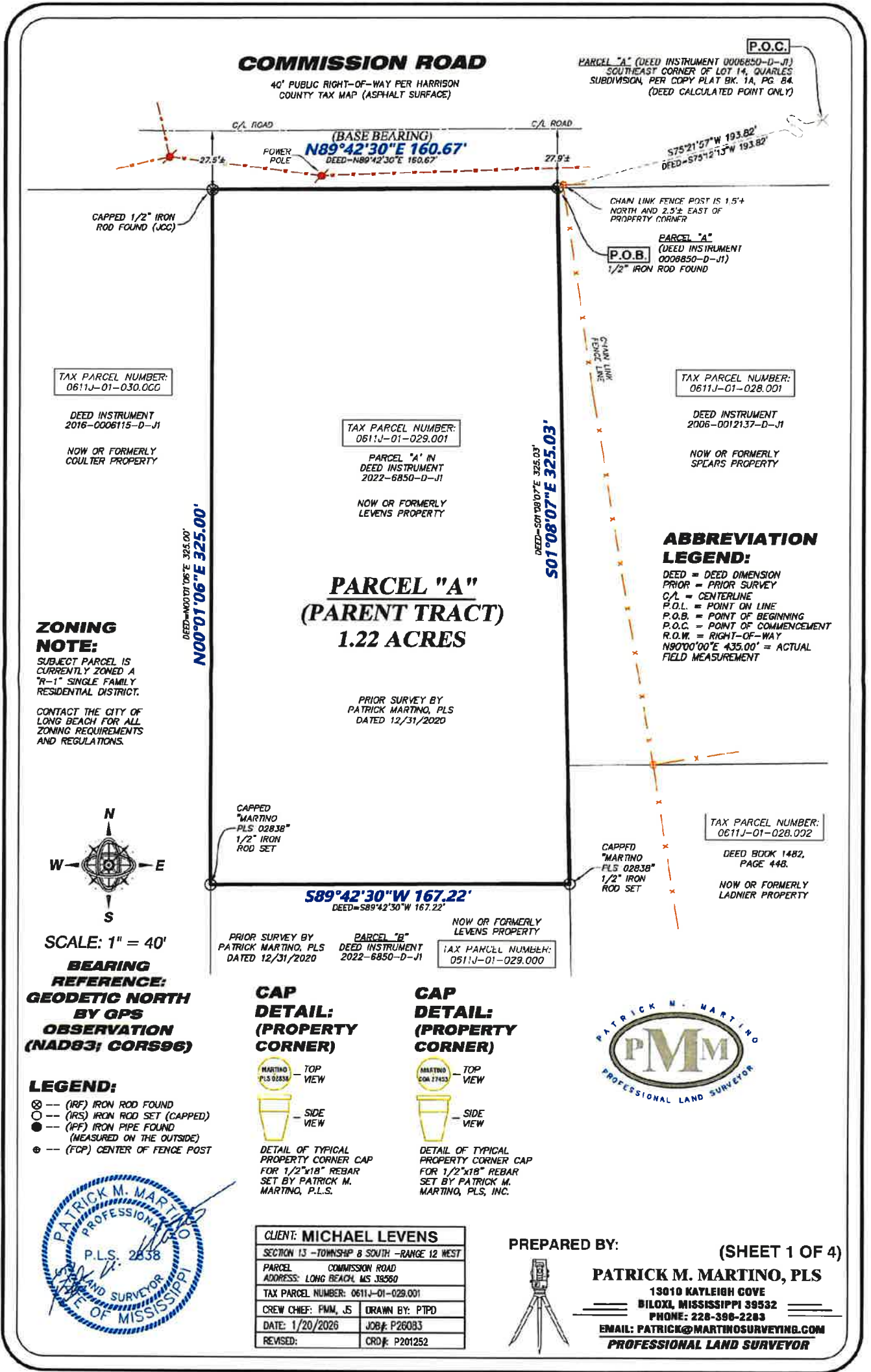
SWORN TO AND SUBSCRIBED before me this the 26 day of February, 2020.

Donna Norman
NOTARY PUBLIC

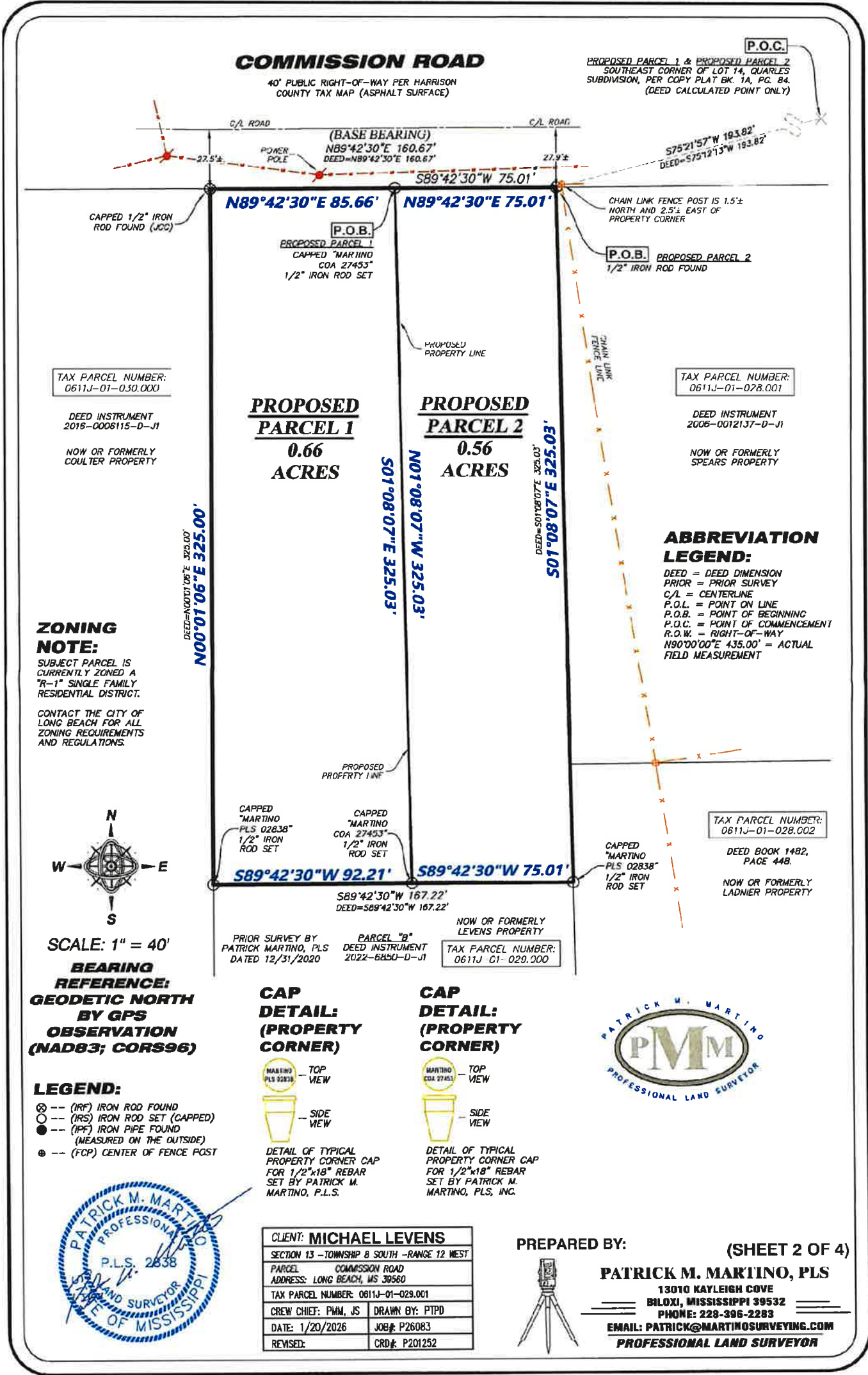


August 9, 2021
My Commission Expires:

**MINUTES OF APRIL 9, 2026
REGULAR MEETING
LONG BEACH PLANNING and DEVELOPMENT COMMISSION**



**MINUTES OF APRIL 9, 2026
REGULAR MEETING
LONG BEACH PLANNING and DEVELOPMENT COMMISSION**



MINUTES OF APRIL 9, 2026
REGULAR MEETING
LONG BEACH PLANNING and DEVELOPMENT COMMISSION

DEED DESCRIPTION: PARENT TRACT

(AS PER SURVEY DIMENSIONS & PARCEL "A" OF DEED INSTRUMENT 2022-0006850-D-J2)

A PARCEL OF LAND SITUATED IN GOVERNMENT LOT 4, SECTION 13, TOWNSHIP 8 SOUTH, RANGE 12 WEST, HARRISON COUNTY, MISSISSIPPI, PER THE MAP AND PLAT ON FILE AND OF RECORD IN THE BUREAU OF LAND MANAGEMENT AND GENERAL LAND OFFICE, DATED SEPTEMBER 30, 1843 (FORMERLY SECTION 12 PER MAP AND PLAT ON FILE AND OF RECORD IN THE BUREAU OF LAND MANAGEMENT AND GENERAL LAND OFFICE, DATED DECEMBER 10, 1829), SAID PARCEL BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:
COMMENCING AT THE SOUTHEAST CORNER OF LOT 14, QUARLES SUBDIVISION, PER COPY PLAT BOOK 1A, PAGE 84; THENCE S75°21'57"W 193.82 FEET TO A 1/2" IRON ROD FOUND LYING ON THE SOUTH MARGIN OF COMMISSION ROAD, SAID POINT BEING THE POINT OF BEGINNING; THENCE LEAVING THE SOUTH MARGIN OF COMMISSION ROAD, S01°08'07"E 325.03 FEET TO A SET 1/2" IRON ROD WITH CAP STAMPED MARTINO PLS 02838; THENCE S89°42'30"W 167.22 FEET TO A SET 1/2" IRON ROD WITH CAP STAMPED MARTINO PLS 02838, SAID POINT LYING ON THE EAST LINE OF THE PROPERTY NOW OR FORMERLY OF COULTER, PER DEED INSTRUMENT 2016-0006115-D-J1; THENCE ALONG THE EAST LINE OF SAID COULTER PROPERTY, N00°01'08"E 325.00 FEET TO A FOUND 1/2" IRON WITH CAP STAMPED JCC, SAID POINT LYING ON THE SOUTH MARGIN OF COMMISSION ROAD; THENCE ALONG THE SOUTH MARGIN OF COMMISSION ROAD, N89°42'30"E 160.67 FEET TO THE POINT OF BEGINNING. SAID PARCEL CONTAINS 1.22 ACRES, MORE OR LESS. REFERENCE MERIDIAN FOR BEARINGS ARE BASED ON GEODETIC NORTH BY GPS OBSERVATION (NAD83; CORS96), ALL LINES RELATIVE TO.



LEGAL DESCRIPTION: PROPOSED PARCEL 1 (AS PER SURVEY DIMENSION)

A PARCEL OF LAND SITUATED IN GOVERNMENT LOT 4, SECTION 13, TOWNSHIP 8 SOUTH, RANGE 12 WEST, HARRISON COUNTY, MISSISSIPPI, PER THE MAP AND PLAT ON FILE AND OF RECORD IN THE BUREAU OF LAND MANAGEMENT AND GENERAL LAND OFFICE, DATED SEPTEMBER 30, 1843 (FORMERLY SECTION 12 PER MAP AND PLAT ON FILE AND OF RECORD IN THE BUREAU OF LAND MANAGEMENT AND GENERAL LAND OFFICE, DATED DECEMBER 10, 1829), AS SHOWN ON THE SURVEY PREPARED BY PATRICK M. MARTINO PLS, INC. DATED JANUARY 20, 2026, (REFERENCE MERIDIAN FOR BEARINGS ARE BASED ON GEODETIC NORTH BY GPS OBSERVATION (NAD83; CORS96), ALL LINES RELATIVE THERETO) AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE SOUTHEAST CORNER OF LOT 14, QUARLES SUBDIVISION, PER COPY PLAT BOOK 1A, PAGE 84; THENCE S75°21'57"W 193.82 FEET TO A 1/2" IRON ROD FOUND LYING ON THE SOUTH MARGIN OF COMMISSION ROAD; THENCE ALONG THE SOUTH MARGIN OF COMMISSION ROAD, S89°42'30"W 75.01 FEET TO A SET 1/2" IRON ROD WITH CAP STAMPED "MARTINO COA 27453" AT THE POINT OF BEGINNING; THENCE LEAVING THE SOUTH MARGIN OF COMMISSION ROAD, S01°08'07"E 325.03 FEET TO A SET 1/2" IRON ROD WITH CAP STAMPED "MARTINO COA 27453" LYING ON THE NORTH LINE OF THE PROPERTY NOW OR FORMERLY OF LEVENS, AS DESCRIBED AS PARCEL "B" IN DEED INSTRUMENT 2022-0006850-D-J1; THENCE ALONG THE NORTH LINE OF SAID LEVENS PROPERTY, S89°42'30"W 92.21 FEET TO A SET 1/2" IRON ROD WITH CAP STAMPED "MARTINO PLS 02838" LYING ON THE EAST LINE OF THE PROPERTY NOW OR FORMERLY OF COULTER, AS DESCRIBE IN DEED INSTRUMENT 2016-0006115-D-J1; THENCE ALONG THE EAST LINE OF SAID COULTER PROPERTY, N00°01'08"E 325.00 FEET TO A FOUND 1/2" IRON WITH CAP STAMPED "JCC" LYING ON THE SOUTH MARGIN OF COMMISSION ROAD; THENCE ALONG THE SOUTH MARGIN OF COMMISSION ROAD, N89°42'30"E 85.66 FEET TO THE POINT OF BEGINNING. SAID PARCEL CONTAINS 0.66 ACRES, MORE OR LESS.

LEGAL DESCRIPTION: PROPOSED PARCEL 2 (AS PER SURVEY DIMENSION)

A PARCEL OF LAND SITUATED IN GOVERNMENT LOT 4, SECTION 13, TOWNSHIP 8 SOUTH, RANGE 12 WEST, HARRISON COUNTY, MISSISSIPPI, PER THE MAP AND PLAT ON FILE AND OF RECORD IN THE BUREAU OF LAND MANAGEMENT AND GENERAL LAND OFFICE, DATED SEPTEMBER 30, 1843 (FORMERLY SECTION 12 PER MAP AND PLAT ON FILE AND OF RECORD IN THE BUREAU OF LAND MANAGEMENT AND GENERAL LAND OFFICE, DATED DECEMBER 10, 1829), AS SHOWN ON THE SURVEY PREPARED BY PATRICK M. MARTINO PLS, INC. DATED JANUARY 20, 2026, (REFERENCE MERIDIAN FOR BEARINGS ARE BASED ON GEODETIC NORTH BY GPS OBSERVATION (NAD83; CORS96), ALL LINES RELATIVE THERETO) AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE SOUTHEAST CORNER OF LOT 14, QUARLES SUBDIVISION, PER COPY PLAT BOOK 1A, PAGE 84; THENCE S75°21'57"W 193.82 FEET TO A 1/2" IRON ROD FOUND LYING ON THE SOUTH MARGIN OF COMMISSION ROAD, SAID POINT BEING THE POINT OF BEGINNING; THENCE LEAVING THE SOUTH MARGIN OF COMMISSION ROAD, S01°08'07"E 325.03 FEET TO A SET 1/2" IRON ROD WITH CAP STAMPED "MARTINO PLS 02838" AT THE NORTHEAST CORNER OF THE PROPERTY NOW OR FORMERLY OF LEVENS, AS DESCRIBED AS PARCEL "B" IN DEED INSTRUMENT 2022-0006850-D-J1; THENCE ALONG THE NORTH LINE OF SAID LEVENS PROPERTY, S89°42'30"W 75.01 FEET TO A SET 1/2" IRON ROD WITH CAP STAMPED "MARTINO COA 27453"; THENCE LEAVING THE NORTH LINE OF SAID LEVENS PROPERTY, N01°08'07"W 325.03 FEET TO A SET 1/2" IRON WITH CAP STAMPED "MARTINO COA 27453" LYING ON THE SOUTH MARGIN OF COMMISSION ROAD; THENCE ALONG THE SOUTH MARGIN OF COMMISSION ROAD, N89°42'30"E 75.01 FEET TO THE POINT OF BEGINNING. SAID PARCEL CONTAINS 0.56 ACRES, MORE OR LESS.

REFERENCE MATERIALS:

- 1.) HARRISON COUNTY GIS WEBSITE AND TAX MAP, CURRENT EDITION.
- 2.) CITY OF LONG BEACH ZONING MAP, CURRENT EDITION.
- 3.) INFORMATION PROVIDED BY CLIENT.
- 4.) DEED INSTRUMENT 2016-0006967-D-J1.
- 5.) DEED BOOK 1456 AT PAGE 546.
- 6.) DEED INSTRUMENT 2016-0005495-D-J1.
- 7.) DEED BOOK 1456 AT PAGE 549.
- 8.) DEED BOOK 1482 AT PAGE 448.
- 9.) DEED INSTRUMENT 2017-0001262-D-J1.
- 10.) DEED INSTRUMENT 2016-0006115-D-J1.
- 11.) DEED INSTRUMENT 2017-0001263-D-J1.
- 12.) DEED INSTRUMENT 2008-0006760-D-J1.
- 13.) DEED INSTRUMENT 2022-0006850-D-J1
- 14.) PRIOR SURVEY BY PATRICK MARTINO, PLS, DATED 12/31/2020.

BOUNDARY NOTE:

BOUNDARY SURVEYS ARE BASED UPON THE RECORDED SUBDIVISION PLAT IN CASES OF REGULAR SUBDIVISIONS LOTS. BOUNDARY SURVEYS OF PROPERTIES NOT A PART OF A REGULAR SUBDIVISION ARE BASED UPON TITLE INFORMATION PROVIDED BY THE PARTY REQUESTING THE SURVEY. BOUNDARY SURVEY PLATS REFLECT INFORMATION DISCOVERED BY THE SURVEYOR IN THE NORMAL COURSE OF WORK AND DOES NOT NECESSARILY SHOW EVERY POSSIBLE CONDITION AFFECTING THE PROPERTY. EASEMENTS, SERVITUDES, BUILDING ORDINANCES, ZONING, AND OTHER LEGAL ENCUMBERMENTS MAY EXIST. CONSULT A TITLE ATTORNEY IF YOU WISH TO DISCOVER ALL THE LEGAL ENCUMBERMENTS ATTACHED TO ANY PROPERTY.

THIS IS TO CERTIFY THAT I HAVE MADE A SURVEY OF THE PROPERTY SHOWN HEREON AND THAT ALL DIMENSIONS AND OTHER DATA SHOWN ARE TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.

Patrick M. Martino
PATRICK M. MARTINO, P.L.S.

1/19/2026
DATE OF FIELD SURVEY



(SHEET 3 OF 4)

NOTES:

- 1.) THIS SURVEY AND PLAT WERE PREPARED ONLY FOR THE CLIENT NAMED HEREON AND NO THIRD PARTY CERTIFICATION IS EXPRESSED OR IMPLIED.
- 2.) A COPY OF THIS PLAT IS VALID ONLY IF IT IS COMPLETE AND INTACT, HAS AN ORIGINAL SIGNATURE AND DATE, AND HAS THE ORIGINAL EMBOSSED OR COLORED (NOT BLACK) STAMPED SURVEYOR'S SEAL.
- 3.) THIS SURVEY IS SUBJECT TO ALL APPLICABLE GOVERNMENTAL REGULATIONS, BUILDING OR OTHER RESTRICTIONS, LEGAL RESTRICTIONS OF ANY NATURE AND FURTHER SUBJECT TO ANY AND ALL EASEMENTS, RESTRICTIVE COVENANTS, AND RIGHTS-OF-WAY OF RECORD.
- 4.) REDIVISION OF THIS PROPERTY IS SUBJECT TO CURRENT SUBDIVISION AND ZONING REGULATIONS AND ET CETERA. APPROVAL NEEDS TO BE OBTAINED FROM THE APPROPRIATE GOVERNING BODIES.

THIS SURVEY WAS PREPARED FROM INFORMATION PROVIDED BY CLIENT, WITHOUT THE BENEFIT OF A CURRENT TITLE REPORT OR AN ENVIRONMENTAL STUDY.

NO FLOOD ZONE DETERMINATION WAS PERFORMED AS A PART OF THIS SURVEY. AN ACCURATE DETERMINATION CAN BE MADE BY ORDERING A FEMA ELEVATION CERTIFICATE.

CLIENT: MICHAEL LEVENS	SURVEY CLASS "B" SCALE: 1"=40'	BEARINGS SHOWN HEREON ARE DERIVED BY: GEODETIC NORTH BY GPS OBSERVATION (NAD83; CORS96); ALL LINES RELATIVE THERETO.
PARCEL: COMMISSION ROAD ADDRESS: LONG BEACH, MS 39560		PATRICK M. MARTINO, PLS 13010 KAYLEIGH COVE BILOXI, MISSISSIPPI 39532 PHONE: 228-396-2283 EMAIL: PATRICK@MARTINOSURVETING.COM PROFESSIONAL LAND SURVEYOR
SECTION 13 - TOWNSHIP 8 SOUTH - RANGE 12 WEST TAX PARCEL NUMBER: 08114-01-028.001		
CREW CHIEF: P.M.M., JS DATE: 1/20/2026	DRAWN BY: PTPD JOB#: P26083	
REVISED:	CRD#: P201252	

MINUTES OF APRIL 9, 2026
REGULAR MEETING
LONG BEACH PLANNING and DEVELOPMENT COMMISSION

CERTIFICATE OF RESUBDIVISION

IN ACCORDANCE WITH ARTICLE II, SECTION 3 OF THE CODE OF ORDINANCE (SUBDIVISION REGULATIONS) OF THE CITY OF LONG BEACH AS AMENDED, IT IS HEREBY CERTIFIED THAT THE LONG BEACH PLANNING COMMISSION CHAIRMAN AND LONG BEACH MAYOR AND BOARD OF ALDERMEN HAVE REVIEWED AND APPROVED THE ATTACHED FINAL PLAT. THE FOLLOWING PROPERTY HAS BEEN SUBDIVIDED FROM HARRISON COUNTY AD VALOREM TAX PARCEL # (0811J-01-029.001) INTO TWO (2) NEW PARCELS. THE SUBJECT PROPERTY IS GENERALLY DESCRIBED AS BEING BOUNDED ON THE SOUTH BY THE PROPERTY NOW OR FORMERLY OF LEVENS, BOUNDED ON THE WEST BY THE PROPERTY NOW OR FORMERLY OF COULTER, BOUNDED ON THE NORTH BY COMMISSION ROAD, AND BOUNDED ON THE EAST BY THE PROPERTIES NOW OR FORMERLY OF SPEARS AND LADNIER.

CERTIFICATE OF OWNERSHIP

I, HEREBY, CERTIFY THAT I AM THE OWNER OF THE PROPERTY DESCRIBED HEREON, WHICH PROPERTY IS WITHIN THE SUBDIVISION REGULATION JURISDICTION OF THE CITY OF LONG BEACH, AND THAT I FREELY ADOPT THIS PLAN OF SUBDIVISION.

WITNESS MY SIGNATURE ON THIS 10 DAY OF February, 2026.

BY: [Signature]
OWNER

SUBSCRIBED AND SWORN TO BEFORE ME, IN MY PRESENCE THIS 10

DAY OF Feb, 2026, A NOTARY PUBLIC IN AND FOR THE COUNTY OF HARRISON, STATE OF MISSISSIPPI.



[Signature]
NOTARY PUBLIC

MY COMMISSION EXPIRES: March 10, 2028

CERTIFICATE OF APPROVAL

I, HEREBY, CERTIFY THAT THE MINOR SUBDIVISION SHOWN ON THIS PLAT DOES NOT INVOLVE THE CREATION OF NEW PUBLIC STREETS, OR ANY CHANGE IN EXISTING PUBLIC STREETS, THE EXTENSION OF PUBLIC WATER OR SEWER SYSTEM OR THE INSTALLATION OF DRAINAGE IMPROVEMENTS THROUGH ONE OR MORE LOTS TO SERVE ONE OR MORE LOTS. THAT THE SUBDIVISION SHOWN IS IN ALL RESPECTS IN COMPLIANCE WITH THE CITY ORDINANCES OF LONG BEACH AND THAT THEREFORE THIS PLAT HAS BEEN APPROVED BY THE ADMINISTRATOR SUBJECT TO ITS BEING RECORDED IN THE HARRISON COUNTY COURTHOUSE WITHIN (60) DAYS OF THE DATE BELOW.

ADMINISTRATOR _____ DATE _____

PLANNING COMMISSION

APPROVED BY THE CITY OF LONG BEACH PLANNING COMMISSION AT THE REGULAR

MEETING OF SAID COMMISSION HELD ON THE _____ DAY OF _____, 2026.

BY: _____
PLANNING COMMISSION CHAIRMAN DATE _____

ACCEPTANCE

SUBMITTED TO AND APPROVED BY THE CITY OF LONG BEACH, BOARD OF ALDERMEN, AT THE REGULAR MEETING OF SAID BOARD OF ALDERMEN HELD ON THE _____ DAY OF _____, 2026.

ADOPT: _____ ATTEST: _____
MAYOR CITY CLERK

CERTIFICATE OF SURVEY AND ACCURACY

I, HEREBY, CERTIFY THAT THIS MAP DRAWN BY ME OR DRAWN UNDER MY SUPERVISION FROM ACTUAL SURVEY MADE BY ME OR ACTUAL SURVEY MADE UNDER MY SUPERVISION AND

A DEED DESCRIPTION RECORDED IN BOOK 2022-6858-D-J

PAGE 1/1 IN ACCORDANCE WITH ALL APPLICABLE CODES AND ORDINANCES. WITNESS MY ORIGINAL SIGNATURE, REGISTRATION NUMBER AND

SEAL THIS THE 30 DAY OF January, 2026.



[Signature]
PATRICK M. MARTINO, PROFESSIONAL LAND SURVEYOR

02838
REGISTRATION NUMBER



SUBSCRIBED AND SWORN TO BEFORE ME, IN MY PRESENCE THIS 30th


DAY OF Jan, 2026, A NOTARY PUBLIC IN AND FOR THE COUNTY OF HARRISON, STATE OF MISSISSIPPI.



[Signature]
NOTARY PUBLIC

MY COMMISSION EXPIRES: 7/15/2028

(SHEET 4 OF 4)

THIS SURVEY WAS PREPARED FROM INFORMATION PROVIDED BY CLIENT, WITHOUT THE BENEFIT OF A CURRENT TITLE REPORT OR AN ENVIRONMENTAL STUDY.		NO FLOOD ZONE DETERMINATION WAS PERFORMED AS A PART OF THIS SURVEY. AN ACCURATE DETERMINATION CAN BE MADE BY ORDERING A FEMA ELEVATION CERTIFICATE.	
CLIENT: MICHAEL LEVENS	SURVEY CLASS "B"	BEARINGS SHOWN HEREON ARE DERIVED BY: GEODETIC NORTH BY GPS OBSERVATION (NAD83; CORS96); ALL LINES RELATIVE THERETO.	
PARCEL: COMMISSION ROAD ADDRESS: LONG BEACH, MS 39560	SCALE: 1"=40'	 PATRICK M. MARTINO, PLS 13010 KAYLEIGH COVE BILOXI, MISSISSIPPI 39532 PHONE: 228-396-2283 EMAIL: PATRICK@MARTINOSURVEYING.COM PROFESSIONAL LAND SURVEYOR	
SECTION 13 - TOWNSHIP 8 SOUTH - RANGE 12 WEST			
TAX PARCEL NUMBER: 0611J-01-029.001			
CREW CHIEF: PMM, JS	DRAWN BY: PTPD		
DATE: 1/20/2026	JOB#: P26083		
REVISED:	CR#: P201252		

**MINUTES OF APRIL 9, 2026
REGULAR MEETING
LONG BEACH PLANNING and DEVELOPMENT COMMISSION**

Special Tap Fee: Commission Rd				
PARCEL # - 0611J-01-029.001				
Date: 2-24-2026				
SEWER AND WATER TAPS				
MATERIALS:				
QTY.		ITEM	PRICE	TOTAL
1	EA	1" CTS Curb Stop	\$89.90	\$89.90
1	EA	6x1 Tapping Saddle	\$39.45	\$39.45
1	EA	1" Corp Stop	\$55.50	\$55.50
20	FT	1" Roll Tubing	\$0.48	\$9.60
1	EA	Meter Box	\$80.00	\$80.00
20	FT	6" Sewer Pipe	\$5.74	\$114.80
1	EA	8x6 Tapping Saddle	\$50.47	\$50.47
1	EA	6x6x6 Cleanout	\$44.88	\$44.88
2	EA	6" Cap	\$13.72	\$27.44
2	TON	Limestone	\$41.50	\$83.00
1	EA	Traffic Control	\$500.00	\$500.00
1	EA	Asphalt	\$400.00	\$400.00
TOTAL MATERIAL COST				\$1,495.04
EQUIPMENT:				
QTY.		ITEM	PRICE	TOTAL
8	HRS	161-TRACK HOE	\$57.14	\$457.12
8	HRS	DUMP TRUCK/ Trailer	\$68.89	\$551.12
16	HRS	CREW TRUCK	\$34.59	\$553.44
16	HRS	WELLPOINT MACHINE	\$50.00	\$800.00
2	HRS	ASPHALT TRAILER	\$35.00	\$70.00
2	HRS	161-TRACK HOE	\$57.14	\$114.28
2	HRS	DUMP TRUCK/ Trailer	\$68.89	\$137.78
2	HRS	CREW TRUCK	\$34.59	\$69.18
TOTAL EQUIPMENT COST				\$2,752.92
LABOR:				
LABOR				TOTAL
				\$2,116.92
TOTAL LABOR COST				\$2,116.92
FUEL:				
				TOTAL
			TOTAL MATERIAL COST	\$1,495.04
			TOTAL EQUIPMENT COST	\$2,752.92
			TOTAL LABOR COST	\$2,116.92
TOTAL				\$6,364.88
15% FUEL COST				\$954.73
PLEASE REMIT MATERIAL AND EQUIPMENT COST TO:				\$4,247.96
City of Long Beach				
P.O. Box 591				
Long Beach, MS 39560				
PLEASE REMIT LABOR & FUEL COST TO:				\$3,071.65
H2O Innovation				
P.O. Box 591				
Long Beach, MS 39560				
TOTAL WATER TAP FEE COST				\$7,319.61

MINUTES OF APRIL 9, 2026
REGULAR MEETING
LONG BEACH PLANNING and DEVELOPMENT COMMISSION



**OVERSTREET
& ASSOCIATES**
CONSULTING ENGINEERS

overstreeteng.com
161 Lameuse St. Suite 203
Biloxi, MS 39530
228.967.7137

February 20, 2026

City of Long Beach
P.O. Box 929
Long Beach, MS 39560

RE: Certificate of Subdivision – Tax Parcel No. 0611J-01-029.001

Ladies and Gentlemen:

We have received a Certificate of Subdivision for the referenced property, described as a parcel of land located within the City of Long Beach, Mississippi, off Commission Road. The submitted subdivision proposes to subdivide one existing parcel into two parcels. Proposed parcel "1" will be nearly 0.66 acres in size, with approx. 85 feet of street frontage on Commission Road. Proposed parcel "2" will be nearly 0.56 acres in size, with approx. 75 feet of street frontage on Commission Road.

The Certificate itself has all appropriate certifications and information. If approval is granted, acceptance of the subdivision should be subject to the payment of any required tapping fees or special connection fees as determined by the City's Public Works department.

Sincerely,


Tyler Yarbrough

**MINUTES OF APRIL 9, 2026
REGULAR MEETING
LONG BEACH PLANNING and DEVELOPMENT COMMISSION**

After considerable discussion and upon recommendation made by the City of Long Beach Engineer, Vice Chairman Sterling made motion, seconded by Commissioner Suthoff and unanimously carried to table the item due to the applicant being absent.

It came for discussion under New Business, a Preliminary Plat Approval for the property located at 20583 Johnson Road, Compass Cove Subdivision, Tax Parcel 0512B-01-029.000, submitted by Timothy Deas, Deas Homes, as follows:

MINUTES OF APRIL 9, 2026
REGULAR MEETING
LONG BEACH PLANNING and DEVELOPMENT COMMISSION



CITY OF LONG BEACH
201 Jeff Davis Avenue
PO BOX 929
LONG BEACH, MS 39560
(228) 863-1554 office
(228) 863-1558 fax

Office use only
Date Received 3/4/26
Zoning R-1
Agenda Date 4/9/26
Check Number 1691

- I. TYPE OF CASE: PRELIMINARY PLAT APPROVAL
- II. ADVALOREM TAX PARCEL NUMBER(S): #0512B-01-029.000
- III. GENERAL LOCATION OF PROPERTY INVOLVED: JOHNSON RD EAST
- IV. ADDRESS OF PROPERTY INVOLVED: 20583 JOHNSON RD
- V. GENERAL DESCRIPTION OF REQUEST: Subdivision of 7 HOUSES TO BE BUILT
Into COMPASS COVE

- VI. REQUIRED ATTACHMENTS:
 - A. Twenty (20) working days prior to the regular monthly meeting of the planning commission the following documents must be submitted:
 - a. Three (3) full-size blue-line copies of the preliminary plat,
 - b. Two (2) blue-line copies of the complete construction plans and specification,
 - c. Two (2) copies of the developer's engineer's basis of design and complete design calculation, and
 - d. Two (2) copies of the preliminary plat application forms.
 - e. The proposed plat shall be at a scale legible and functional on sheets of twenty-four (24) by thirty-six (36) inches in size. ****Please refer to the City of Long Beach's Subdivision Regulations for additional information to be included on the plat.**
 - B. Cash or Check payable to the City of Long Beach in the amount as follows

2-3	Lots	\$100.00
4-10	Lots	\$150.00
11-50	Lots	\$300.00
50-100	Lots	\$400.00
100 +	Lots	\$500.00
 - C. Proof of ownership (copy of recorded warranty deed), if applicable proof of authority to act as agent for owner.

*****NOTE*** APPLICATION WILL NOT BE ACCEPTED WITHOUT THE ABOVE LISTED DOCUMENTS.**

VII. **OWNERSHIP AND CERTIFICATION:**
READ BEFORE EXECUTING. the applicant acknowledges that, in signing this application, all conditions and requirements inherent in the process have been fully explained and understood, including the timetable for processing the application, the completed application with all necessary documents and payments must be returned to the Planning office not later than twenty (20) days before the 2nd or 4th Thursday of each month. Receipt of fee(s) does not constitute receipt of a completed application

Ownership: I the undersigned do hereby agree to all the rules and regulations as set forth in the Long Beach Zoning Ordinance and agree to pay all fees and charges as stated.

<u>Timothy Deas (Deas Homes)</u> Name of Rightful Owner (PRINT)	<u>[Signature]</u> Name of Agent (PRINT)
<u>5 PO Box 309</u> Owner's Mailing Address	<u>[Signature]</u> Agent's Mailing Address
<u>LONG BEACH MS 39560</u> City State Zip	<u>[Signature]</u> City State Zip
<u>228 924-5265</u> Phone	<u>[Signature]</u> Phone
<u>DEAS HOMES CO@gmail.com</u> Email address	<u>[Signature]</u> Email address
<u>[Signature] MARCH 4, 2026</u> Signature of Rightful Owner Date	<u>[Signature]</u> Signature of Applicant Date

MINUTES OF APRIL 9, 2026
REGULAR MEETING
LONG BEACH PLANNING and DEVELOPMENT COMMISSION



Prepared By and Return to:
Schwartz, Ogler & Jordan, PLLC
12206 Hwy 49
Gulfport, MS 39503
(228) 832-8550

File#251288

Indexing Instructions:
Part of Lot B, R Inghis S/D in Part of
the NW 1/4 of the NW 1/4, Section
15, T8S, R12W, Harrison County,
1st JD, MS

STATE OF MISSISSIPPI
COUNTY OF HARRISON
FIRST JUDICIAL DISTRICT

WARRANTY DEED

THAT FOR AND IN CONSIDERATION of the sum of Ten and no/100 Dollars (\$10.00),
cash in hand paid, and other good and valuable consideration, the receipt and sufficiency of all of
which is hereby acknowledged,

FRANKLIN JASON OVERSTREET, a married man
161 LAMFURNER STREET, SUITE 203
BILOXI, MS 39530
(228) 669 9262

does hereby grant, bargain, sell, convey and warrant, unto

TIMOTHY BRIAN DEAS
17245 DOC LIZANA ROAD
GULFPORT, MS 39503
(228) 424-5265

the following described property, together with the improvements, hereditaments and appurtenances
therein situate and located in the County of Harrison, State of Mississippi, and more particularly
described as follows, to-wit:

ATTACHED HERETO AS EXHIBIT "A"

The Grantor hereby covenants that the property described herein does not
constitute as a part of his homestead, nor is it contiguous thereto.

THIS CONVEYANCE is subject to any and all recorded covenants, rights-of-way
and easements applicable to subject property, and any prior recorded reservations, conveyances and
leases of oil, gas and minerals by previous owners of subject property.

Estimated county ad valorem taxes have been prorated between the parties as a part of the
consideration for this conveyance. In the event the estimates upon which such proration is based

prove to be inaccurate for any reason, the Grantee agrees to refund any excess, and the Grantor
agrees to pay any deficiency, upon receipt of a copy of the tax statement for the current year and a
computation of the true amount due, based on a 365 day year.

THIS CONVEYANCE is also subject to Zoning and/or other land use regulations
promulgated by federal, state or local governments affecting the use or occupancy of the subject
property.

WITNESS THE SIGNATURE of the Grantor on this the 1st day of October, 2025.

Franklin Jason Overstreet
FRANKLIN JASON OVERSTREET

STATE OF MISSISSIPPI
COUNTY OF HARRISON

THIS DAY personally appeared before me, the undersigned authority in and for the
jurisdiction aforesaid, FRANKLIN JASON OVERSTREET, a married man, who acknowledged
that he signed, executed and delivered the above and foregoing instrument as his voluntary act and
deed on the day and year therein mentioned.

GIVEN under my hand and official seal on this the 1st day of October, 2025.

Notary Public
NOTARY PUBLIC

(SEAL)

My Commission Expires



EXHIBIT "A"
LEGAL DESCRIPTION

A parcel of land located in a part of the R. INGLIS'S SUBDIVISION in the Northwest
Quarter (NW 1/4) of Section 15, Township 8 South, Range 12 West, Long Beach, Harrison
County, Mississippi, being more particularly described as follows:

Beginning at a point where the half-section line of said Section 15 intersects the East margin
of Beathline Road and run thence East along said half-section line a distance of 550.2 feet to an
old fence line; run thence North 1 degree 30 minutes West along said fence line, a distance of
907.3 feet for the point of beginning; continue thence North 1 degree West a distance of 394.5
feet to the South margin of Johnson Road; thence West along Johnson Road a distance of 380
feet; thence South 8 degrees 45 minutes East a distance of 393.6 feet; thence South 89 degrees
45 minutes East a distance of 277.5 feet back to the Point of Beginning, Containing 2.8 acres,
more or less.

Tax Parcel Number: 0512D-01-029.000

Return to:
Schwartz, Ogler & Jordan, PLLC
12206 Hwy 49
Gulfport, MS 39503
(228) 832-8550
Our File: 251288

MINUTES OF APRIL 9, 2026
REGULAR MEETING
LONG BEACH PLANNING and DEVELOPMENT COMMISSION

CONSTRUCTION DRAWINGS
FOR THE

COMPASS COVE SUBDIVISION

LONG BEACH, MISSISSIPPI
PARCEL ID #: 0512B-01-029.000

PREPARED FOR
DEAS HOMES CO



SHEET INDEX

E0.00	COVER SHEET & INDEX
E1.00	GENERAL NOTES
E2.00	EXISTING SITE / DEMO PLAN
C1.00	LOT LAYOUT
C2.00	PROPOSED GRADING, DRAINAGE AND UTILITY PLAN & PROFILE
C3.00	SWAP PLAN
D1.00	GENERAL CIVIL DETAILS
D2.00	GENERAL CIVIL DETAILS
D3.00	GENERAL CIVIL DETAILS
D4.00	GENERAL CIVIL DETAILS
D5.00	JUNCTION BOX FOR PIPE CULVERTS
D6.00	WOOD FENCE DETAILS
D7.00	BRICK FENCE DETAILS

PROJECT NO. 225-014

DESIGN ENGINEER:
ROBERT J. KHESAL, P.E.
2 GOLDEN DRIVE
GULFPORT, MS 39507
PH: (228) 860-5318

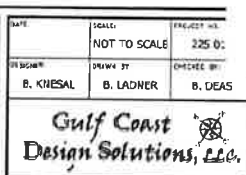
Gulf Const
Design Solutions, LLC.

MINUTES OF APRIL 9, 2026 REGULAR MEETING LONG BEACH PLANNING and DEVELOPMENT COMMISSION

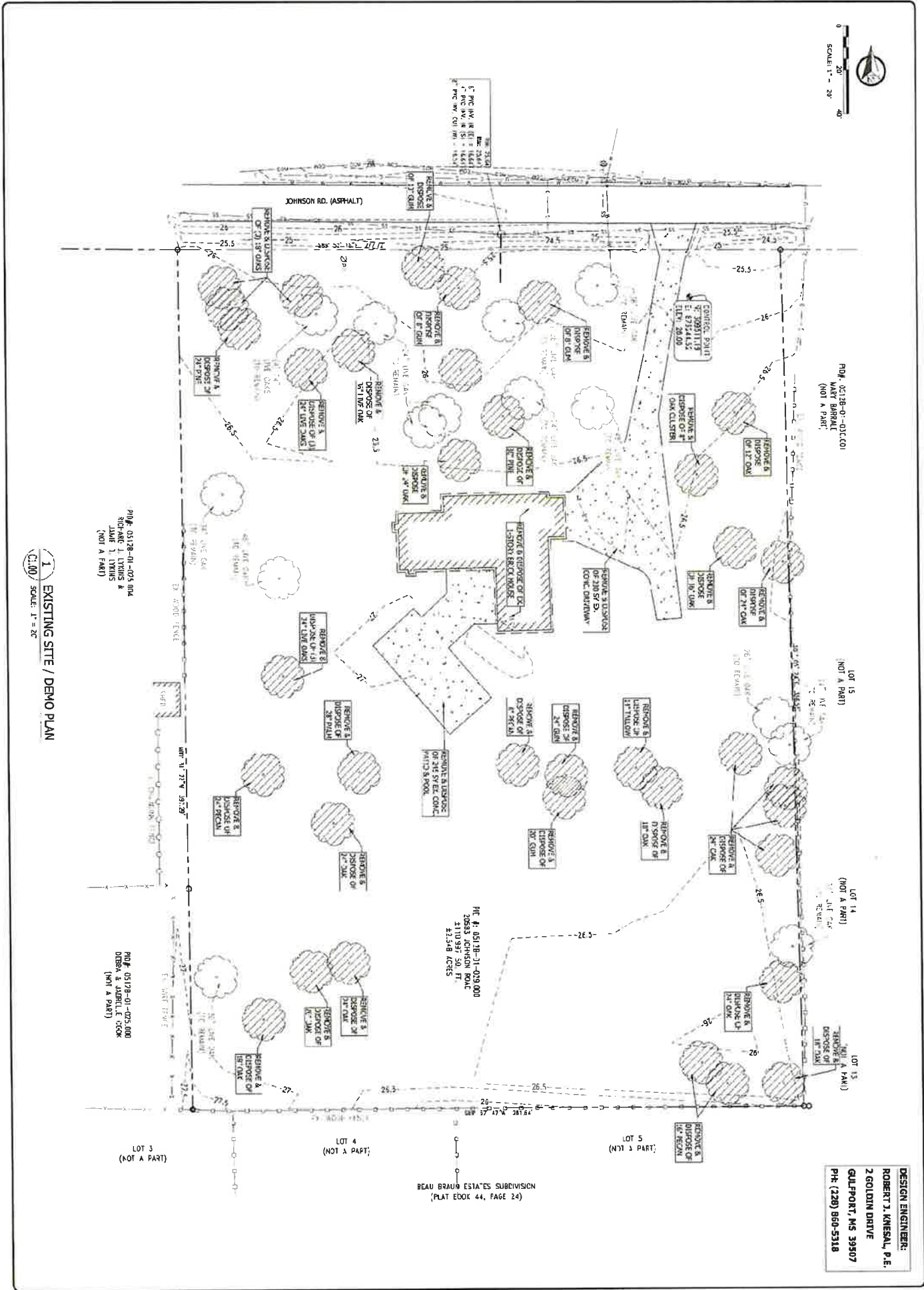
- GENERAL CIVIL NOTES**
1. WATER
 2. ALL WATER SERVICES SHALL REMAIN IN OPERATION DURING ALL PHASES OF CONSTRUCTION.
 3. ALL WATER SERVICES SHALL BE INSTALLED FROM THE MAIN TO THE METER BOX AND SHALL INCLUDE THE METER BOX AND 1" LINES NECESSARY FOR INSTALLATION OF THE PRIVATE SERVICES. CONTRACTOR SHALL COORDINATE WITH THE CITY OF LONG BEACH PUBLIC WORKS.
 4. THE CONTRACTOR SHALL NOT OPERATE ANY VALVE OR HYDRANT OR PLUG ANY VALVE UNLESS UNDER SPECIAL PERMISSION FROM THE UTILITY PROVIDER.
 5. NEW WATER SERVICE SIZES SHALL BE 1" UNLESS SERVICE DEMANDS OR 3/4" SERVICE SERVICE DOMESTIC USE THE CONSTRUCTION DETAILS UNLESS DIRECTED OTHERWISE BY THE PROJECT ENGINEER. THE UTILITY PROVIDER, ETC.
 6. CONTRACTOR SHALL HAVE ON HAND AT ALL TIMES THE NECESSARY MATERIALS AND ACCESSORIES NEEDED TO PERFORM AN EMERGENCY REPAIR ON ANY EXISTING EXISTING SANITARY SEWER QUALITY OF FORCE MAIN (COMMON AND OWNERS SERVICES) SHOULD THE MAIN BE DAMAGED DURING THE CONSTRUCTION OF THIS PROJECT.
 7. THE CONTRACTOR SHALL NOT OPERATE ANY VALVE, JET STATION OR VALVE ANY SERVICE LINE WITHOUT SPECIAL PERMISSION FROM THE UTILITY PROVIDER.
 8. NEW SEWER SERVICE SIZES SHALL BE 4" UNLESS DIRECTED OTHERWISE BY THE PROJECT ENGINEER. THE UTILITY PROVIDER, ETC.
 9. THE SECTIONS OF JUNCTIONS AND ROSES ARE APPROXIMATE FINAL GRADES SHALL BE FIELD DETERMINED BY THE ENGINEER OR AN AUTHORIZED REPRESENTATIVE.
 10. ALL "VALVES" DIMENSIONS DEPEND DIRECTLY ON PIPE SIZE, THICKNESS, AND DEPTH OF PIPE.
 11. SPECIAL DRAINAGE (BY OTHERS)
 12. FINISHED GRADES WILL GENERALLY FOLLOW THE NATIONAL (N) OF THE PLANNING.
 13. STRUCTURES, BY OTHERS, LOCATED WITHIN A DESIGNATED FLOOD ZONE SHALL BE FINISHED WITH FINISHED FLOOR ELEVATIONS SET ASPECT IF REQUIRED BY FLOOD ELEVATION DATA FOR LOCAL REGULATIONS.
 14. WHEN THE FLOOR SLABS UNDER STRUCTURES ARE TO BE CONCRETE TO MEET ACHIEVE POSITIVE DRAINAGE.
 15. DEPRESSED SWALES SHALL BE CONSTRUCTED ALONG LOT LINES TO CONDUIT RUNOFF TO THE FRONT OR REAR OF EACH LOT (DEPENDS ON OVERLAP) ACCORDING TO THE DRAINAGE PLAN.
 16. CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL OF ALL EXISTING UTILITIES AND ALL ADJACENT UTILITIES AND THE MOST RECENT RECORD PLANS. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY RECORD PLANS FROM THE UTILITY PROVIDERS. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY RECORD PLANS FROM THE UTILITY PROVIDERS. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY RECORD PLANS FROM THE UTILITY PROVIDERS.
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- AND FERTILIZED.**
27. ALL DISTURBED RIGHT-OF-WAY AREAS ADJACENT TO PROPOSED STREETS SHALL BE GRADED, SEED, MULCHED, AND FERTILIZED AFTER STREET CONSTRUCTION IS COMPLETE.
 28. THE ENGINEER OF EROSION AND SEDIMENT CONTROL BEST MANAGEMENT PRACTICES (BMP) SHALL BE IN ACCORDANCE WITH THE CITY OF LONG BEACH EROSION AND SEDIMENT CONTROL MANUAL FOR THE CONTROL OF EROSION, SEDIMENT, AND STORMWATER.
 29. NATURAL VEGETATION SHALL BE MAINTAINED AND PROTECTED WHEREVER POSSIBLE. DO NOT REMOVE PLANTED TREES.
 30. ALL CONSTRUCTION TRAFFIC SHALL BE KEPT OFF THE SITE THROUGHOUT THE CONSTRUCTION PERIOD. A CONSTRUCTION DETOUR SHALL BE REQUIRED AT ALL ACCESS POINTS ON THE SITE.
 31. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING EROSION CONTROL THROUGHOUT THE DURATION OF THE PROJECT.
 32. TEMPORARY OR PERMANENT VEGETATION PRACTICES SHALL BE IMPLEMENTED WITHIN SEVEN (7) CALENDAR DAYS WHEN A DISTURBED AREA WILL BE LEFT UNDISTURBED FOR FOURTEEN (14) DAYS OR MORE.
 33. TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES SHALL NOT BE REMOVED UNTIL PERMANENT EROSION CONTROLS ARE ESTABLISHED. ALL DISTURBED AREAS SHALL BE REVEGETATED BY THE PROJECT WITHIN NOT BE MORE THAN ALL TEMPORARY EROSION CONTROL MEASURES SHALL BE REMOVED IMMEDIATELY.
 34. ALL EQUIPMENT REPAIR AND MAINTENANCE SHALL BE DONE OFF-SITE.
 35. RECEPTEES SHALL BE PROVIDED TO PROVEY COPIES OF ALL TRUCK AND WAGON. ALL CONSTRUCTION TRUCKS SHALL BE PROVED UP AT THE END OF EACH DAY AND SHALL BE KEPT OFF-SITE FROM THE SITE AT THE END OF THE PROJECT.
 36. SANITARY FACILITIES SHALL BE PROVIDED ON-SITE FOR ALL EMPLOYEES.
 37. TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSTALLED PRIOR TO THE START OF ANY WORK. FIT WILL BE REQUIRED TO REMOVE THEM IMMEDIATELY UPON COMPLETION OF ALL ACTIVITIES. ONCE THESE ACTIVITIES ARE COMPLETED AT THE END OF THE WORKDAY, THE EROSION CONTROL MEASURES SHALL BE REINSTALLED IMMEDIATELY.
 38. ALL EROSION CONTROLS SHALL BE INSTALLED IN ACCORDANCE WITH THE DETAILS.
 39. ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES MAY BE DEMAND NECESSARY IF THE CONTROLS FOUND IN THIS STORMWATER MANAGEMENT PLAN ARE FOUND TO BE INEFFECTIVE.
 40. ACCUMULATED SEDIMENT SHALL BE REMOVED FROM CONTROL STRUCTURES AT THE END OF THE PROJECT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DISPOSAL OF ALL SEDIMENT IN AN APPROVED LOCATION.
 41. EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSPECTED WEEKLY AND RECORDING AND SIGNIFICANT NON-FUNCTIONING, ADJUSTMENTS OR DAMAGED CONTROLS SHALL BE REPAIRED OR STOPPED WITHIN FIVE (5) WORKING DAYS OF THE DATE OF INSPECTION.
 42. THE CONTRACTOR IS RESPONSIBLE FOR THE REMOVAL OF ALL SEDIMENT THAT MIGRATES INTO THE STORM DRAIN SYSTEM.
 43. THE CONTRACTOR IS RESPONSIBLE FOR THE REMOVAL OF ALL SEDIMENT OR CONSTRUCTION DEBRIS THAT IS PLACED INTO ADJACENT PUBLIC AREAS. ADJACENT PUBLIC AREAS SHALL BE LEFT CLEAN THROUGHOUT THE PROJECT.
 44. ANY SEDIMENT THAT HAS MIGRATED OFF-SITE WHETHER ONTO PUBLIC OR PRIVATE PROPERTY SHALL BE REMOVED IMMEDIATELY UPON DISCOVERY.
 45. CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL OF ALL SEDIMENT THAT MIGRATES INTO THE STORM DRAIN SYSTEM.
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 48. CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL OF ALL SEDIMENT THAT MIGRATES INTO THE STORM DRAIN SYSTEM.
- VEGETATION**
49. REMOVE ONLY TREES WITHIN THE LIMITS OF THE WORK THAT ARE NECESSARY FOR CONSTRUCTION OF THE PROJECT. NO OTHER TREES SHALL BE REMOVED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY RECORD PLANS FROM THE UTILITY PROVIDERS. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY RECORD PLANS FROM THE UTILITY PROVIDERS.
 50. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE LATEST EDITION OF THE MANUAL ON UNIFORM TRAFFIC CONTROL. (MUTCD) FOR STREETS AND HIGHWAYS AND ANY APPLICABLE TRAFFIC CONTROL PLAN.
 51. CONSTRUCTION SHALL BE DONE IN ACCORDANCE WITH THE LATEST EDITION OF THE MUTCD. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL OF ALL EXISTING TRAFFIC CONTROL DEVICES THAT ARE DAMAGED BY THE CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL OF ALL EXISTING TRAFFIC CONTROL DEVICES THAT ARE DAMAGED BY THE CONSTRUCTION.
 52. SIGNED WARNING OF OBSTRUCTION WITH SIGNAGE COMMENCING ON A 45-DEGREE ANGLE SHALL BE PLACED FROM THE END OF THE OBSTRUCTION AND END OF THE OBSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL OF ALL EXISTING TRAFFIC CONTROL DEVICES THAT ARE DAMAGED BY THE CONSTRUCTION.
 53. IF CONSTRUCTION FAILS TO MAINTAIN TRAFFIC CONTROL, AS REQUIRED FOR THE CONSTRUCTION, THE OWNER MAY WITHDRAW LIABILITY UPON ALL OR ANY TRAFFIC CONTROL DEVICES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL OF ALL EXISTING TRAFFIC CONTROL DEVICES THAT ARE DAMAGED BY THE CONSTRUCTION.
 54. ALL CONSTRUCTION SHALL BE IN PLACE BEFORE THE START OF ANY CONSTRUCTION AND SHALL REMAIN IN PLACE FOR THE DURATION OF THE PROJECT.
 55. THE LOCATION AND SPACING OF SIGNS SHOWN ON THE MANUAL, UNIFORM TRAFFIC CONTROL, MAY BE ADJUSTED AS NECESSARY TO FIT FIELD CONDITIONS OR AS APPROVED BY THE PROJECT ENGINEER, OR HIS AUTHORIZED REPRESENTATIVE.
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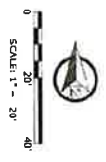
DEAS HOMES CO	COMPASS COVE SUBDIVISION	GENERAL CIVIL NOTES	SCALE: NOT TO SCALE	PROJECT NO.: 225 00	CHECKED BY: B. DEAS
G1.00			DESIGNED BY: R. KRESAL	DRAWN BY: B. LADNER	DATE: 04.09.26



**MINUTES OF APRIL 9, 2026
REGULAR MEETING
LONG BEACH PLANNING and DEVELOPMENT COMMISSION**



1 EXISTING SITE / DEMO PLAN
SCALE: 1" = 20'



RD# 05128-01-021.001
MART BRANLET
(NOT A PART)

LOT 15
(NOT A PART)

LOT 14
(NOT A PART)

LOT 13
(NOT A PART)

RD# 05128-01-025.004
JAMES I. LYNNIS &
JAMES I. LYNNIS
(NOT A PART)

RD# 05128-01-025.000
DEBRA & JANELLE COOK
(NOT A PART)

PLAT # 05138-31-029.000
25823 JOHNSON ROAD
1110937 SQ. FT.
42.548 ACRES

BEAU BRAUN ESTATES SUBDIVISION
(PLAT BOOK 44, PAGE 24)

DESIGN ENGINEER:
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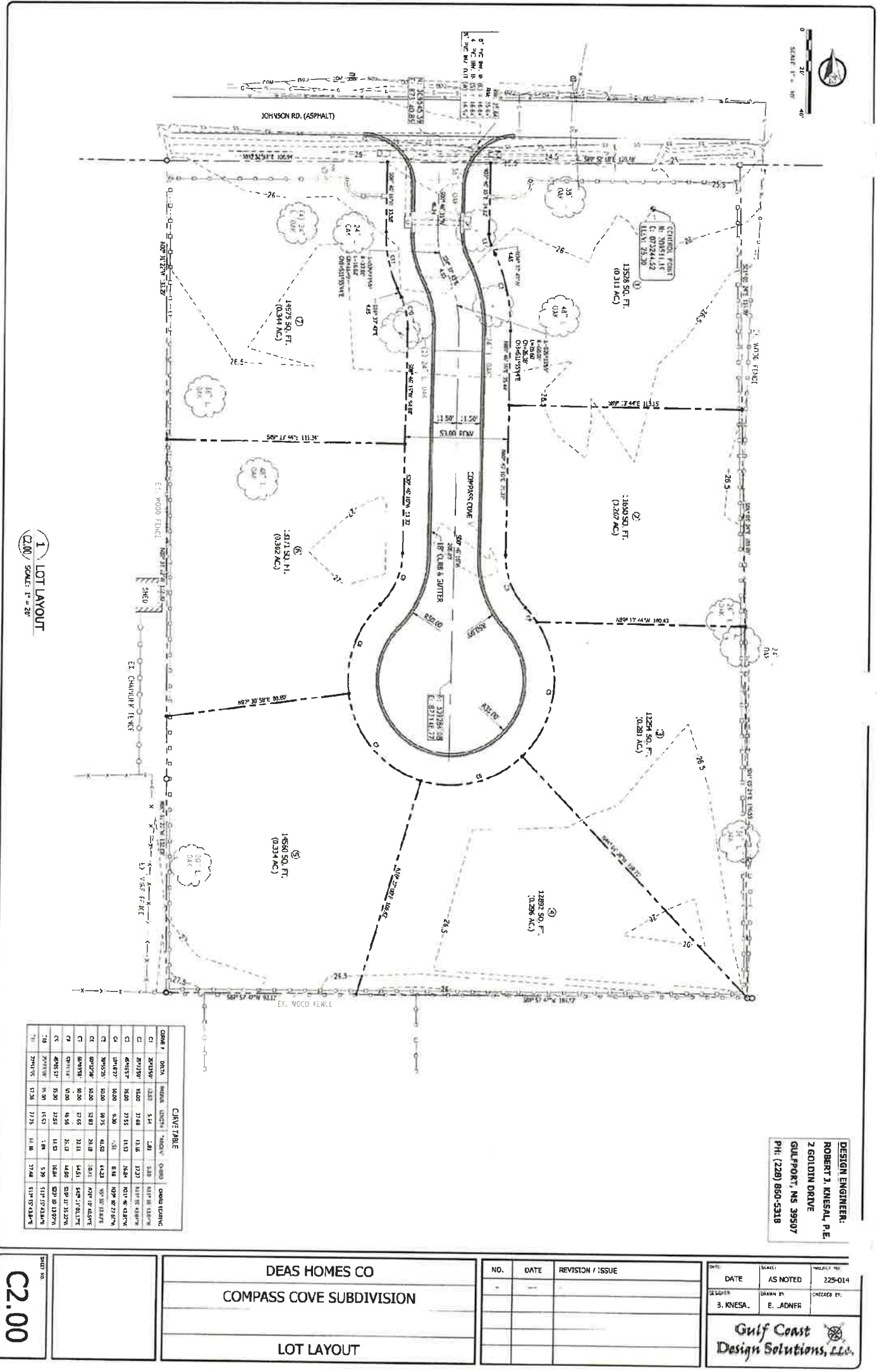
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DEAS HOMES CO	NO.		DATE		REVISION / ISSUE	
	COMPASS COVE SUBDIVISION					
	EXISTING SITE / DEMO PLAN					

DATE	AS NOTED	PROJECT NO.
DESIGNER	DRAWN BY:	CHECKED BY:
B. KNESAL	B. LADNER	

Gulf Coast
Design Solutions, LLC

**MINUTES OF APRIL 9, 2026
REGULAR MEETING
LONG BEACH PLANNING and DEVELOPMENT COMMISSION**



1 LOT LAYOUT
200' SCALE, P = 20'

CDMG #	DATE	MINOR	LENGTH	WIDTH	AREA	OWNER	ORIGIN
C1	2/21/20	12.5'	5.4'	1.16	12.23	STATE OF CALIFORNIA	STATE OF CALIFORNIA
C2	2/21/20	15.00	7.68	1.16	11.23	STATE OF CALIFORNIA	STATE OF CALIFORNIA
C3	6/23/20	15.00	7.55	1.13	10.54	STATE OF CALIFORNIA	STATE OF CALIFORNIA
C4	1/14/21	10.00	5.20	1.11	8.81	STATE OF CALIFORNIA	STATE OF CALIFORNIA
C5	7/25/23	10.00	19.75	4.10	41.29	STATE OF CALIFORNIA	STATE OF CALIFORNIA
C6	6/27/24	10.00	52.83	23.18	10.11	STATE OF CALIFORNIA	STATE OF CALIFORNIA
C7	6/27/24	10.00	27.65	21.51	14.51	STATE OF CALIFORNIA	STATE OF CALIFORNIA
C8	6/27/24	10.00	46.56	21.12	44.60	STATE OF CALIFORNIA	STATE OF CALIFORNIA
C9	6/27/24	15.00	22.55	14.10	15.64	STATE OF CALIFORNIA	STATE OF CALIFORNIA
C10	2/21/20	15.00	15.57	1.16	17.59	STATE OF CALIFORNIA	STATE OF CALIFORNIA
C11	2/21/20	17.25	11.18	1.16	20.04	STATE OF CALIFORNIA	STATE OF CALIFORNIA

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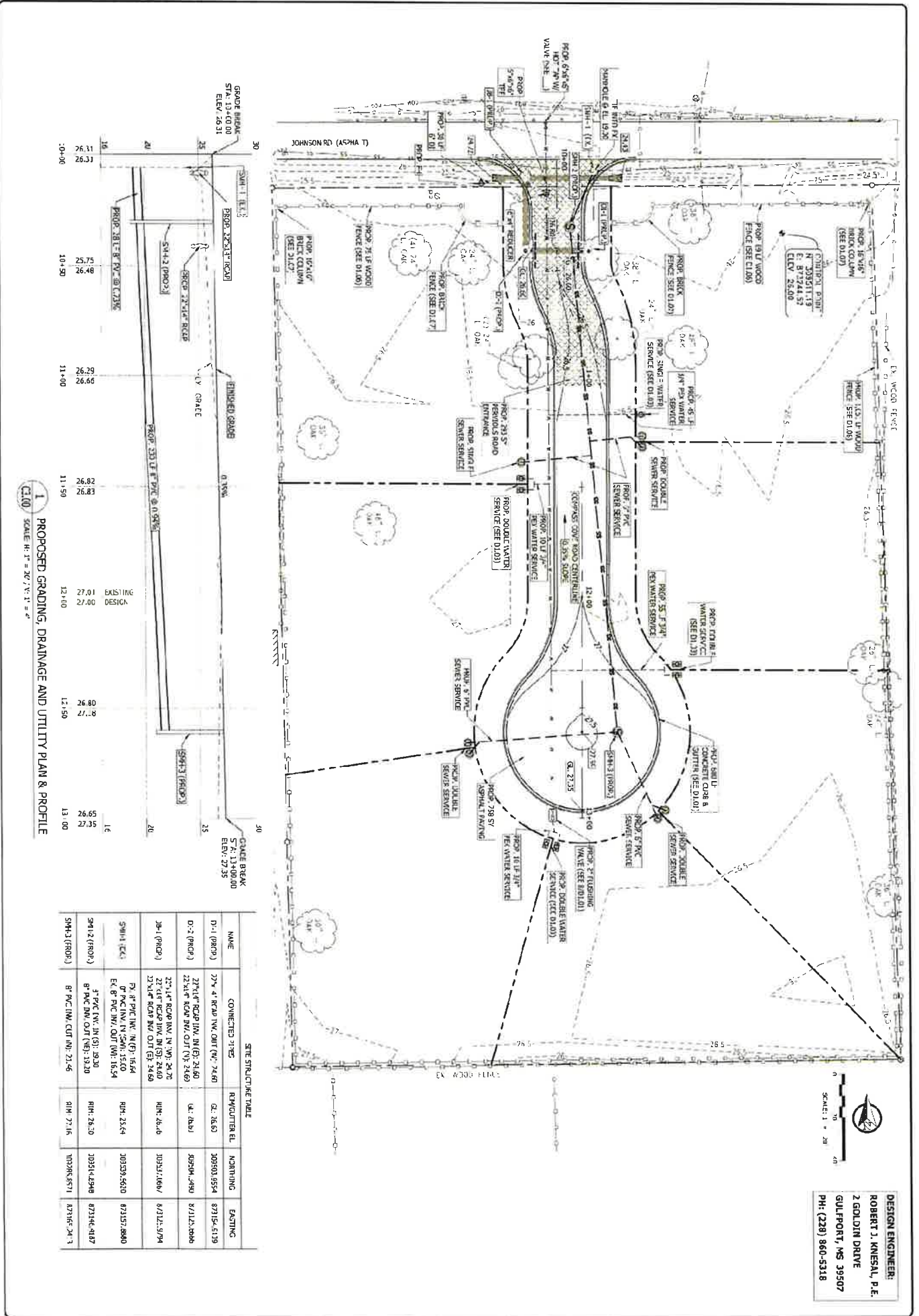
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DEAS HOMES CO	
COMPASS COVE SUBDIVISION	
LOT LAYOUT	

NO.	DATE	REVISION / ISSUE

DATE	SCALE	PROJECT NO.
	AS NOTED	225-014
DESIGNER	DRAWN BY	CHECKER BY
R. KNESA	E. ADNER	

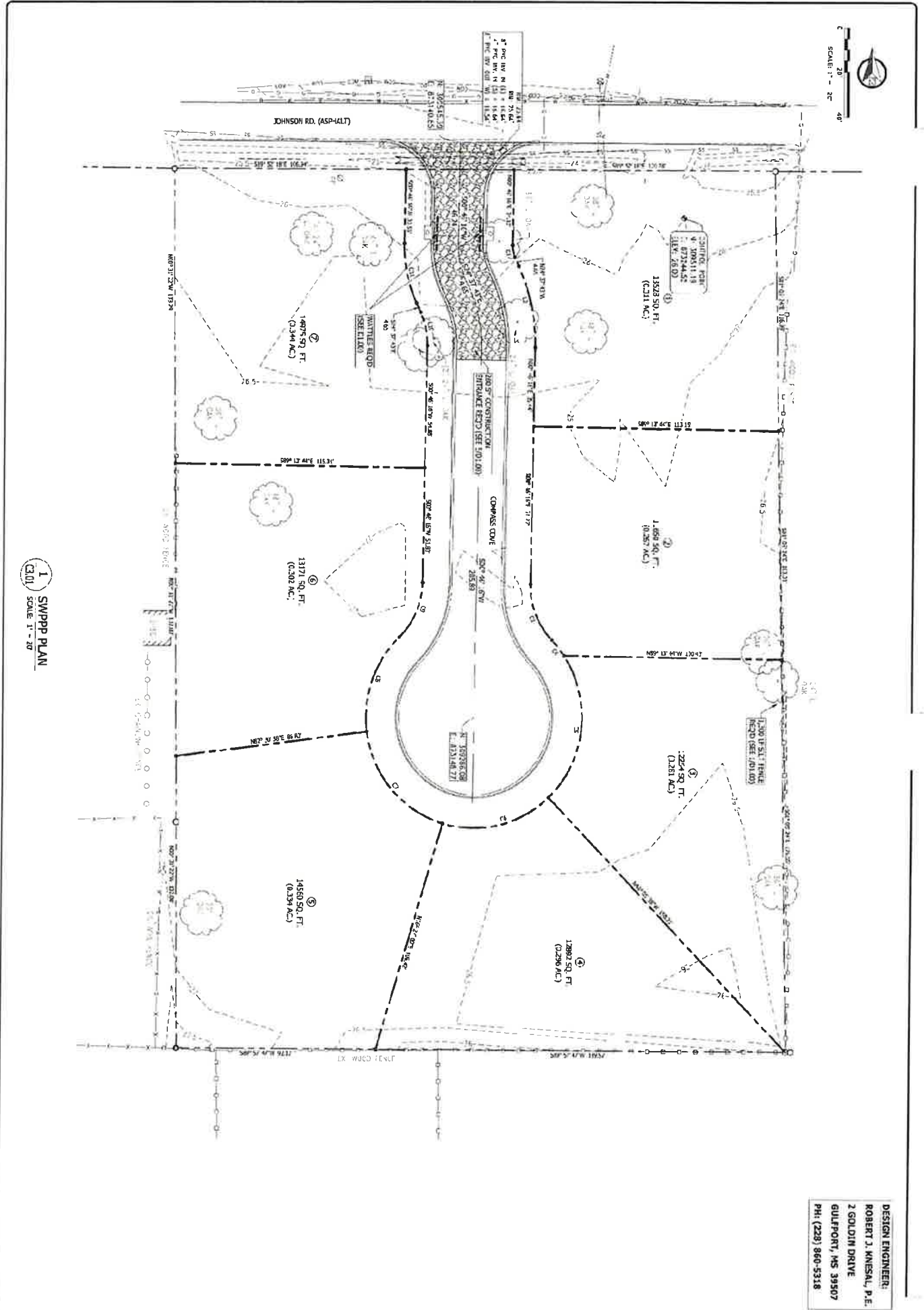
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C3.00	DEAS HOMES CO COMPASS COVE SUBDIVISION PROPOSED GRADING, DRAINAGE AND UTILITY PLAN & PROFILE	NO.	DATE	REVISION / ISSUE
	Gulf Coast Design Solutions, LLC.	DATE	AS NOTED	PROJECT NO. 225-014

**MINUTES OF APRIL 9, 2026
REGULAR MEETING
LONG BEACH PLANNING and DEVELOPMENT COMMISSION**



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COMPASS COVE SUBDIVISION	SWPPP PLAN	DATE: AS NOTED PROJECT NO: 225-014 DRAWN BY: B. LADNER CHECKED BY:																			
Gulf Coast Design Solutions, LLC.																					

**MINUTES OF APRIL 9, 2026
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FIRE HYDRANT INSTALLATION
N.T.S.

4 - #5 BENT REINFORCING BARS
3 - #5 REINFORCING BARS
1 LAN VIEW BARS
PRECAST THRUST BLOCK
6" GATE VALVE W/ BOX
VARIES
6" WATER MAIN
PRECAST THRUST DOOR
ALTERABLE: USE 2 3/4" TE ROOTS
ALTERNATE FROM THRUST SIDE TO MAINLINE TIE.
6" TEE ON DISTRIBUTION MAIN (SMALL TEE ON EQUIV)
6" HORIZONTAL WASHED GRAVEL AROUND DRAIN HOLES
2'-6"

CROSS

VERTICAL BEND

HORIZONTAL BEND

2 #4 BARS

BEARING AREAS FOR THRUST BLOCKING (SF)

FITTING	4"	6"	8"	10"	12"
90° BEND	2.0	2.5	4.6	7.5	10.4
45° BEND	1.0	1.3	2.3	3.9	5.6
22 1/2° BEND	0	0	1.3	2.0	2.9
FLANGE OR FLANGES	2.0	2.5	3.5	5.0	7.0

THRUST BLOCK DETAIL
N.T.S.

TYPICAL VALVE AND VALVE BOX
N.T.S.

CONCRETE GAP - 2" X 2" X 1/2"
EXISTING GROUND
3/8" MIN
CAST IRON CORNW TYPE VALVE BOX
CAST IRON GATE VALVE, M.A.
WATER MAIN
THRUST DOOR
#4 REINFORCING BARS BENT OVER VALVE
CAST IRON LID MARKED WITH

SINGLE SERVICE

DOUBLE SERVICE

3/4" OR 1" SERVICE PIPE
CONCRETE STOP
SERVICE SADDLE W/ DOUBLE STRAPS
DISTRIBUTION MAIN
METER BOX ASSEMBLY
3/4" SERVICE PIPE
1" SERVICE PIPE
1" x 3/4" SERVICE WIRE
METER BOX ASSEMBLY

NOTE:
METER SERVICE LOCATION SHALL BE STYPICAL FROM THE SIDE PROPERTY LINE

WATER SERVICE DETAIL
N.T.S.

3/4" SERVICE PIPE
1" SERVICE PIPE
1" x 3/4" SERVICE WIRE
METER BOX ASSEMBLY
CONCRETE STOP
SERVICE SADDLE W/ DOUBLE STRAPS
DISTRIBUTION MAIN

RESTRAINED JOINTS
N.T.S.

RESTRAINED JOINTS (RELOD)
4.7"
2.5"
1.0"
5"
2.5"
1.12"

FORCE MAIN AS SHOWN ON CHART BELOW
FITTING AS SHOWN ON CHART

DISTANCE BETWEEN MAINS	
FITTINGS	3' 5" 10' 12' 14' 16' 18'
90° BEND	4' 18" 25' 20' 29' 33' 37'
45° BEND	6' 7" 10' 12' 15' 18' 15'
2 1/2° BEND	3' 4" 5' 6" 5' 7' 7'
1 1/2° BEND	0' 2" 3' 3" 3" 4" 4"
OFF SET CORNER	0' 4" 4' 6" 7' 10' 13'
HEAD END	5' 4" 4' 6" 7' 7' 8' 7'

NOTE:
TAPPING VALVES SHALL BE ALL STAINLESS STEEL SIMILAR TO FOUND ON EXISTING APPROVED QUAL.

EXISTING WATER MAIN
TAPPING SLEEVE
TAPPING VALVE
JOINT RESTRAINT (TYP)

TAPPING VALVE & SLEEVE DETAIL
CITY OF GULFPORT
STANDARD CONSTRUCTION DETAILS

DESIGN ENGINEER:
ROBERT J. KNESAL, P.E.
2 GOLDEN DRIVE
GULFPORT, MS 39507
PH: (728) 860-5318

DEAS HOMES CO
COMPASS COVE SUBDIVISION
GENERAL CIVIL DETAILS

NO.	DATE	REVISION / ISSUE

DATE	SCALE	PROJECT NO.
AS NOTED	AS NOTED	225-014

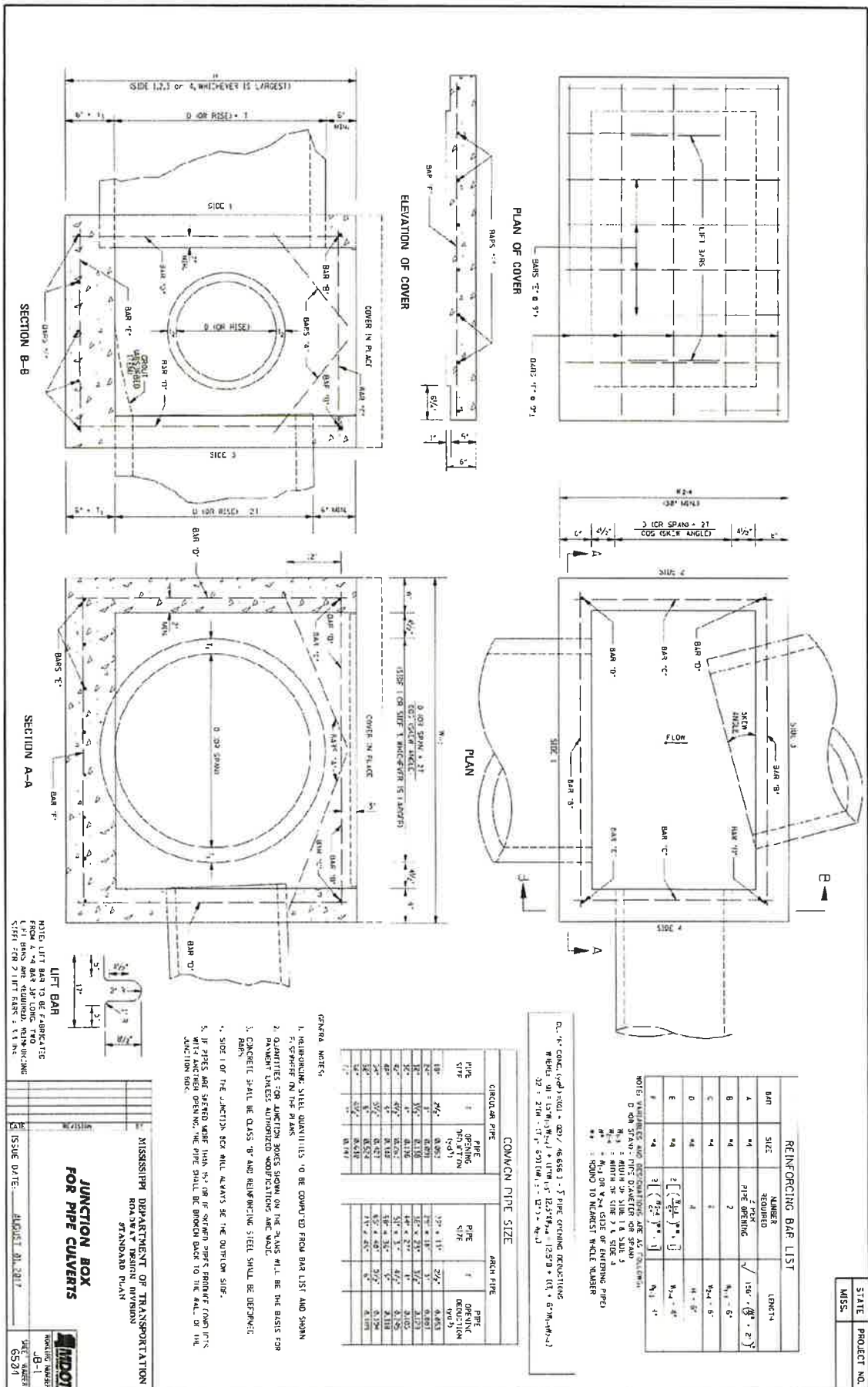
DESIGNER: B. KNESAL
DRAWN BY: B. LADNER
CHECKED BY: B. DEAS

Gulf Coast Design Solutions, LLC

79 M.B. 39
04.09.26 Reg

D1.03

**MINUTES OF APRIL 9, 2026
REGULAR MEETING
LONG BEACH PLANNING and DEVELOPMENT COMMISSION**



STATE	PROJECT NO.
MISS.	

DESIGN ENGINEER:
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GULFPORT, MS 39507
PH: (228) 860-5316

REINFORCING BAR LIST

BAR	SIZE	NUMBER REQUIRED	LENGTH
A	#4	PIECE MARKING	$\sqrt{150 \cdot (\frac{D}{4} + 2)^2}$
B	#4	2	$\frac{D}{4} + 6$
C	#4	2	$\frac{D}{4} + 6$
D	#4	4	$\frac{D}{4} + 6$
E	#4	2	$\frac{D}{4} + 6$
F	#4	2	$\frac{D}{4} + 6$

ALL 4" CONC. (W/1% S&G) - 46 E88 J - 3 PIPE CIRCUMFERENCE
MIN. 4" CONC. (W/1% S&G) - 46 E88 J - 3 PIPE CIRCUMFERENCE
MIN. 4" CONC. (W/1% S&G) - 46 E88 J - 3 PIPE CIRCUMFERENCE
MIN. 4" CONC. (W/1% S&G) - 46 E88 J - 3 PIPE CIRCUMFERENCE

COMMON PIPE SIZE

PIPE SIZE	PIPE OPENING (D)	PIPE OPENING (D)	PIPE OPENING (D)
18"	18"	18"	18"
24"	24"	24"	24"
30"	30"	30"	30"
36"	36"	36"	36"
42"	42"	42"	42"
48"	48"	48"	48"
54"	54"	54"	54"
60"	60"	60"	60"
66"	66"	66"	66"
72"	72"	72"	72"
78"	78"	78"	78"
84"	84"	84"	84"
90"	90"	90"	90"
96"	96"	96"	96"
102"	102"	102"	102"
108"	108"	108"	108"
114"	114"	114"	114"
120"	120"	120"	120"
126"	126"	126"	126"
132"	132"	132"	132"
138"	138"	138"	138"
144"	144"	144"	144"
150"	150"	150"	150"
156"	156"	156"	156"
162"	162"	162"	162"
168"	168"	168"	168"
174"	174"	174"	174"
180"	180"	180"	180"
186"	186"	186"	186"
192"	192"	192"	192"
198"	198"	198"	198"
204"	204"	204"	204"
210"	210"	210"	210"
216"	216"	216"	216"
222"	222"	222"	222"
228"	228"	228"	228"
234"	234"	234"	234"
240"	240"	240"	240"
246"	246"	246"	246"
252"	252"	252"	252"
258"	258"	258"	258"
264"	264"	264"	264"
270"	270"	270"	270"
276"	276"	276"	276"
282"	282"	282"	282"
288"	288"	288"	288"
294"	294"	294"	294"
300"	300"	300"	300"

- GENERAL NOTES:**
1. REINFORCING STEEL QUANTITIES TO BE COMPUTED FROM BAR LIST AND SHOWN THEREIN IN THE PLANS.
 2. QUANTITIES FOR ANCHOR BOLTS SHOWN ON THE PLANS WILL BE THE BASIS FOR PAYMENT UNLESS AUTHORIZED MODIFICATIONS ARE MADE.
 3. CONCRETE SHALL BE CLASS "B" AND REINFORCING STEEL SHALL BE DEFORMED BARS.
 4. SIDE 1 OF THE JUNCTION BOX SHALL ALWAYS BE THE DOWNHILL SIDE.
 5. IF PIPES ARE SPACED MORE THAN 1/2" OR IF STRAIN PIPES FRONTIER (FOR J'S WITH ANCHOR BOLTS), THE PIPE SHALL BE BOKEN BACK TO THE WALL OF THE JUNCTION BOX.

JUNCTION BOX FOR PIPE CULVERTS

MISSISSIPPI DEPARTMENT OF TRANSPORTATION
ROADWAY DESIGN DIVISION
STANDARD PLAN

ISSUE DATE: AUGUST 21, 2017

REVISIONS:

NO.	DATE	REVISION / ISSUE
1		
2		
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D1.05	DEAS HOMES CO			<table border="1"> <tr> <td>NO.</td> <td>DATE</td> <td>REVISION / ISSUE</td> </tr> <tr> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> </tr> </table>	NO.	DATE	REVISION / ISSUE									
	NO.	DATE	REVISION / ISSUE													
COMPASS COVE SUBDIVISION																
JUNCTION BOX																
FOR PIPE CULVERTS																
<table border="1"> <tr> <td>DATE:</td> <td>SCALE:</td> <td>PROJECT NO.</td> </tr> <tr> <td> </td> <td> </td> <td>725-014</td> </tr> <tr> <td>DRAWN BY:</td> <td>CHECKED BY:</td> <td>ISSUED BY:</td> </tr> <tr> <td>B. KNESAL</td> <td>B. LADNER</td> <td>B. DEAS</td> </tr> </table>		DATE:	SCALE:	PROJECT NO.			725-014	DRAWN BY:	CHECKED BY:	ISSUED BY:	B. KNESAL	B. LADNER	B. DEAS			
DATE:	SCALE:	PROJECT NO.														
		725-014														
DRAWN BY:	CHECKED BY:	ISSUED BY:														
B. KNESAL	B. LADNER	B. DEAS														

**MINUTES OF APRIL 9, 2026
REGULAR MEETING
LONG BEACH PLANNING and DEVELOPMENT COMMISSION**

1 ELEVATION
D1.06 SCALE: 3/4" = 1'-0"

2 ELEVATION
D1.06 SCALE: 3/4" = 1'-0"

3 SECTION
D1.06 SCALE: 3/4" = 1'-0"

NOTES:

1. ALL FASTENERS TO BE STAINLESS STEEL.
2. ALL WOOD TO BE PRESSURE TREATED.
3. ALL CONCRETE FOOTERS TO BE SLOPED AWAY FROM POSTS AT 1/4" PER FOOT.
4. ALL POSTS TO BE SPACED NO MORE THAN 8' O.C.

DESIGN ENGINEER:
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2 GOLDWIN DRIVE
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PH: (228) 860-5318

NO.	DATE	REVISION / ISSUE

DATE	SCALE	PROJECT NO.
	AS NOTED	225-01

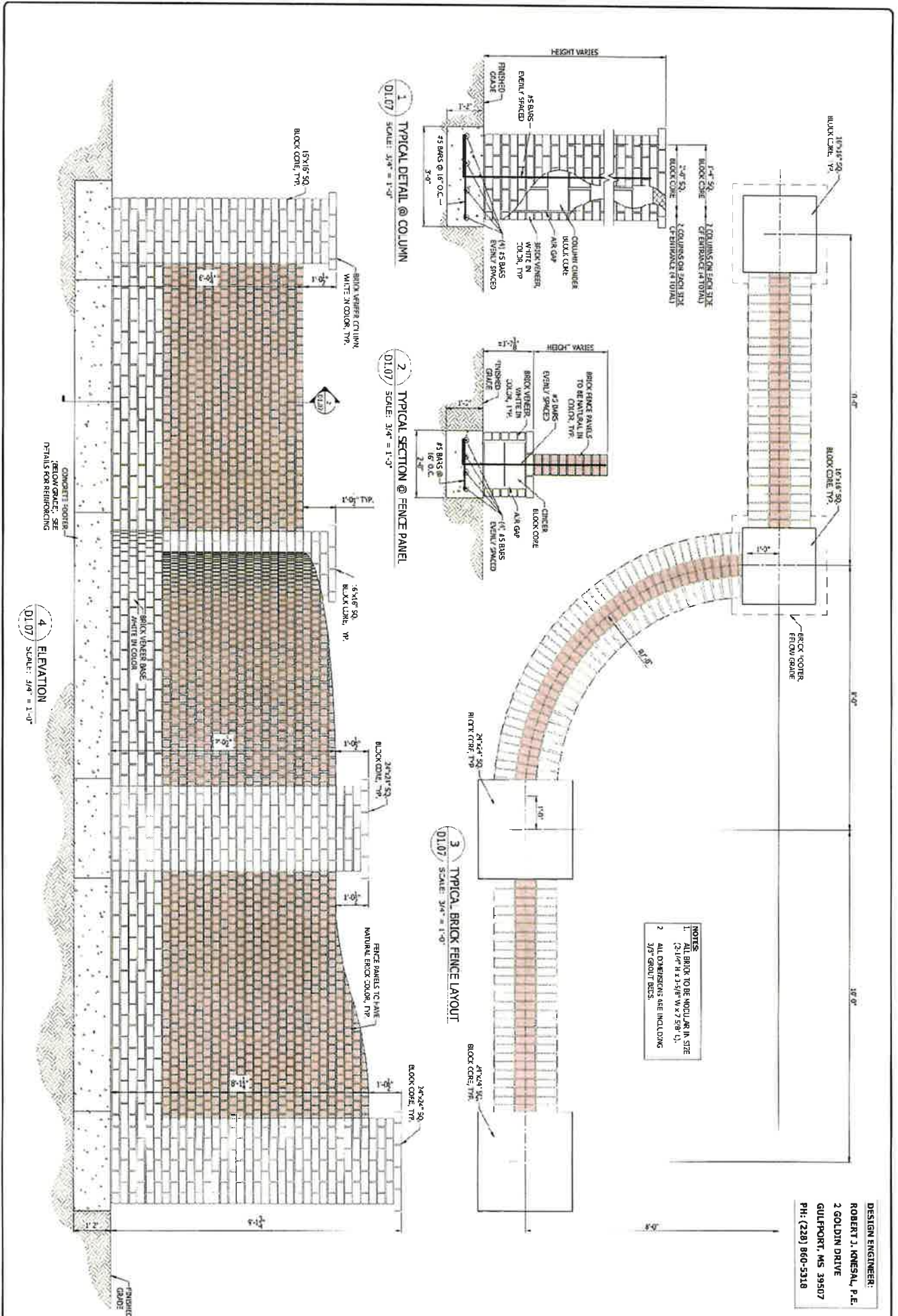
DRAWN BY	CHECKED BY
B. KNESAL	B. DEA

Gulf Coast Design Solutions, LLC.

**DEAS HOMES CO
COMPASS COVE SUBDIVISION
WOOD FENCE DETAILS**

D1.06

**MINUTES OF APRIL 9, 2026
REGULAR MEETING
LONG BEACH PLANNING and DEVELOPMENT COMMISSION**



D1.07	DEAS HOMES CO	NO.	DATE	REVISION / ISSUE	DATE	BY	CHECKED BY	PROJECT #
	COMPASS COVE SUBDIVISION							225-014
	BRICK FENCE DETAILS					B. KNESAL	E. LADNER	E. DEAS



**MINUTES OF APRIL 9, 2026
REGULAR MEETING
LONG BEACH PLANNING and DEVELOPMENT COMMISSION**

LONG BEACH FIRE DEPARTMENT

Plan Review and Inspection Form

Development Name: Compass Cv

Address or Location: Johnson Rd

Occupancy Type (according to NFPA code): NA

Type of Development: Subdivision

Occupancy Load if Applicable: NA

Number of Stories: NA

Building Name or Building Number being reviewed: NA

Plan Review and Occupancy Inspection:

For all multi-family (three family or larger), commercial, industrial, and institutional construction, whether new or renovation, a fee of 25% of the building permit fee charged by the issuing building department, no less than \$50, shall be levied. **The fee includes site review, plan review, and related inspections of the structure according to the Fire Codes adopted by the City of Long Beach.** Not included in this fee is the plan review and related inspections of **specialized fire protection equipment.** The fee is payable upon submitting the initial plans for review to the Long Beach Building Code Office.

Please verify cul-de-sac width. City Ordinance requires cul-de-sac's to be a minimum of 96'.

Plan Review: Accepted [X] Rejected []

If Rejected State Reason:

Reviewed by: Inspector Clayton Maxwell

Date: 03/17/2026

Plan Review Fee: (This fee does not include Specialized Fire Protection Equipment)

Protecting Life and Property

**MINUTES OF APRIL 9, 2026
REGULAR MEETING
LONG BEACH PLANNING and DEVELOPMENT COMMISSION**



**OVERSTREET
& ASSOCIATES**
CONSULTING ENGINEERS

overstreeteng.com
161 Lameuse St. Suite 203
Biloxi, MS 39530
228.967.7137

MEMORANDUM

Date: 03/20/2026
To: City of Long Beach
From: Tyler Yarbrough
RE: Compass Cove Preliminary Plat Review

Please see below for our engineering review comments, which should be addressed prior to City approval.

Construction Plans:

C2.00:

1. The cul-de-sac shall have a minimum width of 96 feet (BOC), per markups.
2. The cul-de-sac R.O.W diameter shall be a minimum of 119 feet.

C3.00:

3. Show how lots will drain without impacting other properties.
4. Show ADA street crossing and future sidewalk location.
5. Show location of mailbox kiosk, and other HOA responsibilities, etc.
6. Consider moving curb inlets to the entrance to avoid Junction Box 1.
7. Notate that the tapping valve and sleeve shall be all stainless steel, similar to ROMAC, modify any conflicting details.
8. Push curb tangents south by 3' minimum, (Johnson CL plus 12').
9. Change material for water service per city standard, (specifications attached).
10. Change water service size from ¾" to 1" for dual services, per city standard.
11. Notate "A single full-width 2" mill and overlay will be required on Johnson Road, in conjunction with a 2-year warranty. The mill and overlay should extend from 10.0' West of the most western trench to 10.0' east of the most eastern trench, minimum 100' total. See details for restoration requirements for City roadways."
12. What is pervious entrance material?
13. Notate that connecting to the existing sewer manhole will require a drop connection.

D1.00:

14. Notate on the stormwater pipe detail that all joints to be wrapped.
15. Notate on sign placement detail that all signs are to be per MUTCD.

D1.01:

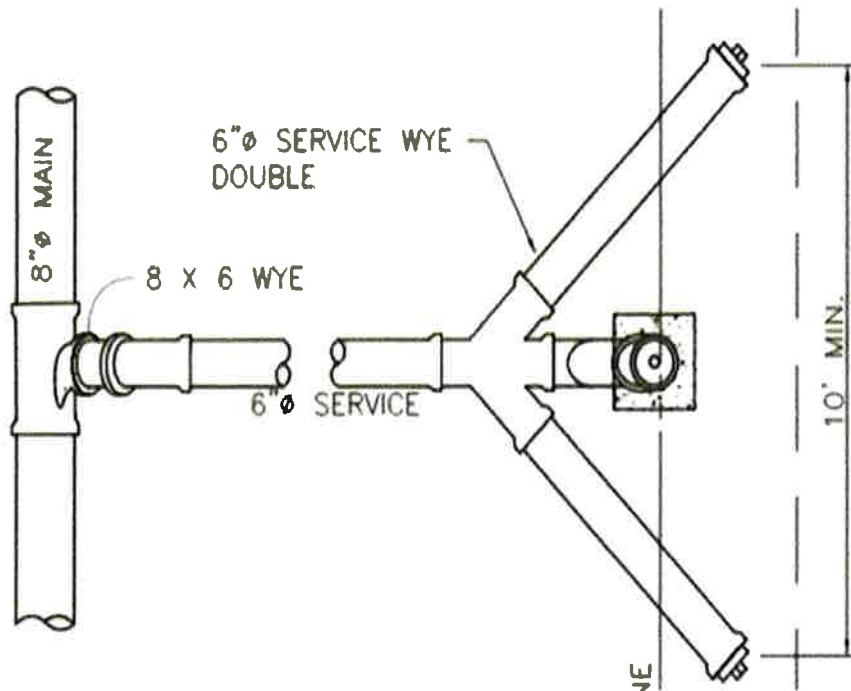
16. Provide dimension on the mountable curb and gutter detail, per markups.

Biloxi | Long Beach | Pascagoula | Daphne

**MINUTES OF APRIL 9, 2026
REGULAR MEETING
LONG BEACH PLANNING and DEVELOPMENT COMMISSION**

D1.02:

17. Notate on sewer manhole detail that all manhole joints are to be wrapped with geofabric, per markups.
18. Notate on drainage structure detail that entire drainage structure to be wrapped with geofabric, per markups.
19. Provide double sewer service detail, see below (with same note as sewer service shall be located 5' from the side property line).

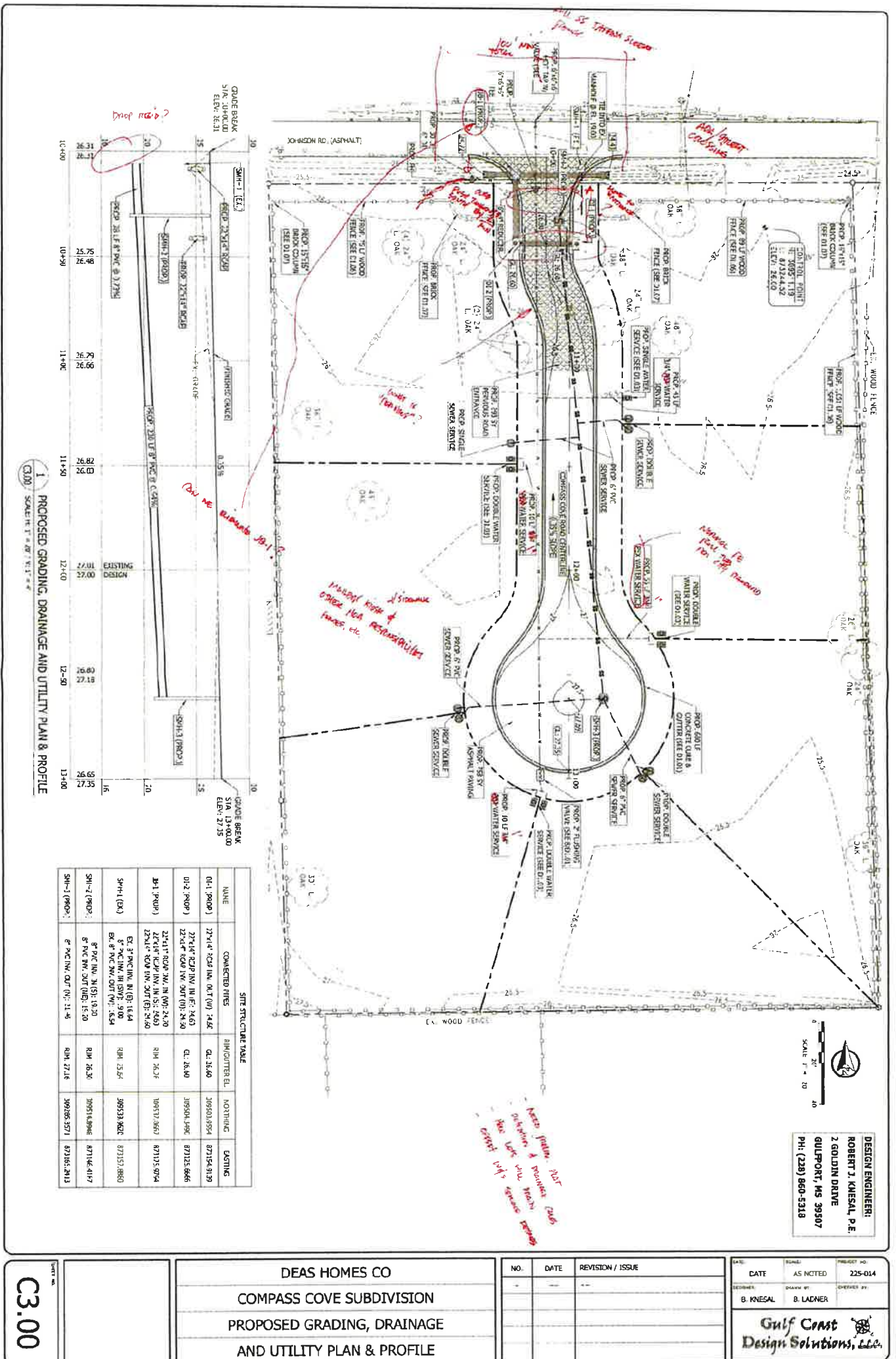
**D1.03:**

20. Notate the water service detail to ensure the meter box is cast iron and the water service is lockable.

General Comments:

1. Submit Preliminary Plat document for review.
2. Submit Specifications.
3. Submit Detention & Drainage Calcs.

MINUTES OF APRIL 9, 2026
 REGULAR MEETING
 LONG BEACH PLANNING and DEVELOPMENT COMMISSION



1 PROPOSED GRADING, DRAINAGE AND UTILITY PLAN & PROFILE
 SCALE: H.T. = 1" = 40' V.T. = 1" = 4'

NAME	CONNECTED LINES	IN/OUTTER EL.	NOTHING	EXISTING
01-1 (PROP)	22"x4" RCP INV. 04.1' (W) 24.6'	04.16.60	309503.954	87154.919
01-2 (PROP)	22"x4" RCP INV. 04.1' (E) 24.6'	04.16.60	309504.496	87125.666
01-3 (PROP)	22"x4" RCP INV. 04.1' (S) 24.6'	04.16.60	309517.867	87125.974
01-4 (PROP)	22"x4" RCP INV. 04.1' (N) 24.6'	04.16.60	309518.862	87125.980
01-5 (PROP)	8" PVC INV. 19.20	19.20	309514.896	87146.417
01-6 (PROP)	8" PVC INV. 21.70	21.70	309508.571	87105.213

DESIGN ENGINEER:
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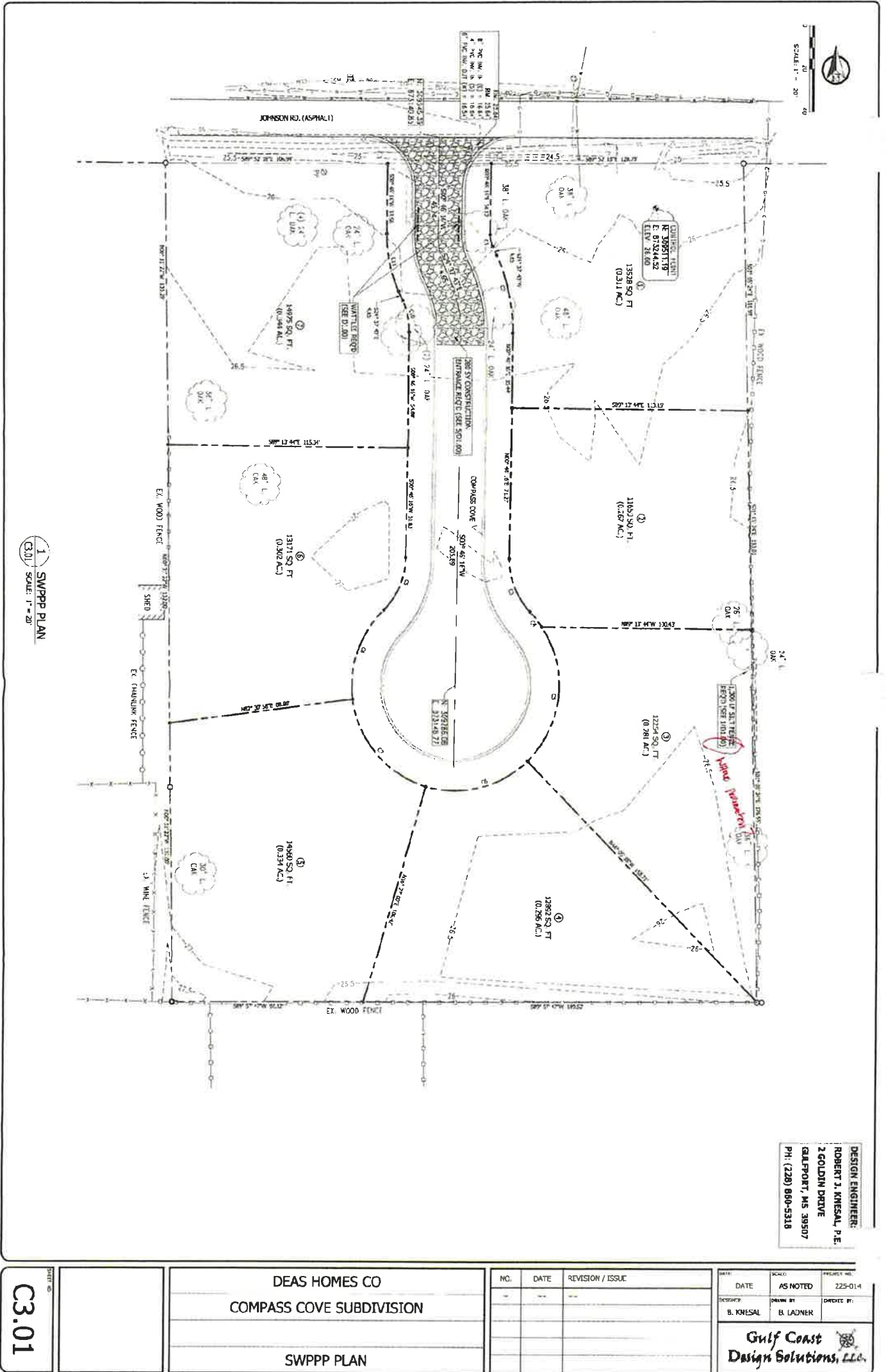
PROJECT NO.
C3.00

DEAS HOMES CO
 COMPASS COVE SUBDIVISION
 PROPOSED GRADING, DRAINAGE
 AND UTILITY PLAN & PROFILE

NO.	DATE	REVISION / ISSUE

DATE: AS NOTED 225-014
 DRAWN BY: B. LADNER
 CHECKED BY: B. KNESAL
Gulf Coast Design Solutions, LLC.

**MINUTES OF APRIL 9, 2026
REGULAR MEETING
LONG BEACH PLANNING and DEVELOPMENT COMMISSION**



C3.01

DEAS HOMES CO
COMPASS COVE SUBDIVISION

SWPPP PLAN

NO.	DATE	REVISION / ISSUE

DATE	AS NOTED	PROJECT NO.
		225-014
DRAWN BY	DRAWN BY	CHECKED BY:
B. KNESAL	B. LADNER	

Gulf Coast Design Solutions, LLC.

DESIGN ENGINEER:
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PH: (228) 860-5318

**MINUTES OF APRIL 9, 2026
REGULAR MEETING
LONG BEACH PLANNING and DEVELOPMENT COMMISSION**

After discussion and upon recommendation made by the City of Long Beach Engineer, Commissioner Suthoff made motion, seconded by Vice Chairman Sterling and unanimously carried recommending to table the item giving the applicant time to address the City Engineer's Letter.

There being no further business to come before the Planning and Development Commission at this time, Commissioner Suthoff made motion, seconded by Vice Chairman Sterling and unanimously carried to adjourn the meeting until the next regular scheduled meeting in due course.

APPROVED:

Chairman David DiLorenzo

DATE: _____

ATTEST: _____

Minutes Clerk Tina M. Dahl