

**MINUTES OF APRIL 23, 2026  
REGULAR MEETING  
LONG BEACH PLANNING and DEVELOPMENT COMMISSION**

**AGENDA  
APRIL 23, 2026  
REGULAR MEETING OF THE PLANNING and DEVELOPMENT COMMISSION  
CITY OF LONG BEACH, MISSISSIPPI  
5:30 O'CLOCK P.M.  
LONG BEACH CITY HALL  
MEETING ROOM  
201 JEFF DAVIS AVENUE**

**I. CALL TO ORDER**

**II. INVOCATION AND PLEDGE OF ALLEGIANCE**

**III. ROLL CALL AND ESTABLISH QUORUM**

**IV. PUBLIC HEARINGS**

1. Variance- 22 Cameron Cove, Tax Parcel 0511N-01-004.005, Submitted by DSLD Gulf Coast, LLC (owners) and Keenan Scully (agent).

**V. ANNOUNCEMENTS**

**VI. APPROVE MINUTES**

1. April 9, 2026

**VII. UNFINISHED BUSINESS**

1. Short-Term Rental- 121 East 2<sup>nd</sup> Street, Tax Parcel 0612B-03-016.000, Submitted by Lisa McDermed (owner) and Brian Logan/Bill Anderson (property managers).
2. Certificate of Resubdivision- 0 Commission Road, Tax Parcel 0611J-01-029.001, Submitted by Michael Levens.
3. Preliminary Plat Approval- Compass Cove, 20583 Johnson Road, Tax Parcel 0512B-01-029.000, Submitted by Timothy Deas, Deas Homes.

**VIII. NEW BUSINESS**

1. Short-Term Rental- 1002 East Beach Blvd, Tax Parcel 0711N-05-050.000, Submitted by Philip and Christina Plaisance, dba CP3 Properties, LLC (owners) and Caitlyn Myrick, dba Vision Stays, LLC.
2. Certificate of Resubdivision- 111 Larosa Road and 0 Larosa Road, Tax Parcels 0611N-02-011.001 and 0611N-02-010.000, Submitted by Patrick D. Huey.

**IX. DEVELOPMENT & RESEARCH**

**X. ADJOURN**

**\*\*\*NOTES\*\*\***

\*\*All decisions made at this meeting are subject to a ten (10) day appeal for a Public Hearing and/or the Mayor and Board of Aldermen approval on May 5, 2026.

\*\*The agenda for the Planning and Development Commission meeting closes at 12:00 O'clock (noon), and/or in accordance with applicable ordinances, the Thursday prior to the meeting day.



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Commissioner Joey King led the meeting in prayer.

\*\*\*\*\*

Commissioner Philip LeBlanc read the Opening Statement for the Planning and Development Commission.

\*\*\*\*\*

Be it remembered that one Public Hearing was heard before the Long Beach Planning and Development Commission, Long Beach, Mississippi, was begun at 5:30 o'clock p.m., Thursday, the 23<sup>rd</sup> day of April 2026, in the Long Beach City Hall Meeting Room, 201 Jeff Davis Avenue, in said City, and the same being the time, date and place fixed for holding said Public Hearing.

There were present and in attendance on said Commission and at the Public Hearings the following named persons: Chairman David DiLorenzo, Vice Chairman Don Sterling, Commissioners Nicholas Brown, William Suthoff, Tim Dulaney, Joey King, Sean Hughes, Ray Baas, Jr, Philip LeBlanc, Building Official Mike Gundlach, and Minutes Clerk Tina M. Dahl.

Absent the Public Hearing was Building Inspector Shawn Barlow.

There being a quorum present and sufficient to transact the business of these Public Hearings, the following proceedings were had and done.

\*\*\*\*\*

The Public Hearing for discussion, a Variance for the property located at 22 Cameron Cove, Tax Parcel 0511N-01-004.005, submitted by DSLD Gulf Coast, LLC (owner) and Keenan Scully (agent), as follows:

MINUTES OF APRIL 23, 2026  
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CITY OF LONG BEACH  
201 Jeff Davis Avenue/ PO BOX 929  
Long Beach, MS 39560  
(228) 863-1554 office  
(228) 863-1558 fax

Office use only  
Date Received 3-27-26  
Zoning R-1  
Agenda Date 4-23-26  
Check Number CC

VARIANCE REQUEST

- I. Tax Parcel Number(s): 0511N-01-004.005
- II. Address of Property Involved: 22 CAMERON COVE - Lot 239
- III. Statement clearly explaining the request being made. (Attach supplemental pages if necessary.)  
DSLD IS REQUESTING AN 8' SETBACK (REAR) FOR NEWLY CONSTRUCTED HOME IN DEAR POINT SUBDIVISION.

**\*\*PLEASE COMPLETE THE FOLLOWING:**

- A. Describe any special condition that justify the granting of this request and that are peculiar to the property and do not apply to other properties in the general area. What are the reasons for the request and why the applicant cannot meet the stated code requirement? The above request will not affect any surrounding properties. The house is over the rear setback but does not affect or impede surrounding properties. Home was built over is currently under construction and is past the rear setback.
- B. Describe how the special condition discussed above is not the result of actions taken by the applicant. Show that the applicant did not cause the need for this request. DSL D IS RESPONSIBLE FOR THE ERROR.
- C. Show that an unnecessary hardship exists due to the character of the property and that this hardship makes the request necessary. State what hardship is caused if the applicant is required to meet code requirements? What is the result of this hardship? What would result if the zoning Board denied this request? Requesting the variance to shorten the rear setback will prevent future homeowner issues.
- D. Show that denial of this request will deprive the applicant of rights commonly enjoyed by other properties in the general area and that the granting of this variance request will make possible the reasonable use of land while not conferring any special privilege. Outline how the subject of the variance is common in the area and if the applicant were to be denied this variance a right would be taken away which is granted to other properties. State how the variance makes reasonable use of the existing land and why the same action cannot be done in a way that does not require a variance. Show that granting of this variance does not give the applicant any special privileges that the properties in the area would find desirable. House is being framed now and VARIANCE will allow the house to be completed.

**MINUTES OF APRIL 23, 2026  
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**IV. REQUIRED ATTACHMENTS:**

- A. **Interest and Ownership.** The applicant's name, address and interest of every person, firm or corporation represented by the applicant in the application, the name of the owner or owners and their respective addresses of the entire land area proposed to be changed in classification or to be included within the structures then existing thereon, and sufficient evidence to establish that the applicant has the right of possession to the land area and structures, the names and address of all owners of adjacent property (exclusive of the width of intervening streets, alleys, or bodies of water). Claims of support or "no objection" from owners of adjoining property should be substantiated in writing or by the appearance of such owner(s) at the hearing. Such support is usually considered material but not conclusive.
- B. **Survey and Site Plan.** a site plan showing the land area which would be affected, easements bounding and intersecting the designated area, the locations of existing and proposed structures with supporting open facilities, and the ground area to be provided and continuously maintained for the proposed structure or structures;
- C. **Recorded Warranty Deed.** A deed which includes a legal description of the specific piece of property involved in the request. If several parcels are included in a request, individual parcel deeds AND a composite legal description of all parcels involved in the request must be provided.
- D. **Fee.** Attach a check in the amount of \$200.00. This check should be made payable to the **City of Long Beach** to cover administrative cost. You will also be responsible to actual costs, such as advertising and mailing incurred with the processing of your application.

**\*\*\*NOTE\*\*\* APPLICATION WILL NOT BE ACCEPTED WITHOUT THE ABOVE LISTED DOCUMENTS.**

**V. OWNERSHIP AND CERTIFICATION:**

**READ BEFORE EXECUTING,** Attendance by the applicant(s) at the public hearing is mandatory; however, the applicant may designate a representative to attend the public hearing on his/her behalf, provided said representative has been properly designated to speak on the applicant's behalf either by written permission or oral designation by the applicant at the Public Hearing. If a continuance is to be granted, the applicant must request same in writing a minimum of seven (7) days in advance of the scheduled public hearing. The applicant acknowledges that, in signing this application, all conditions and requirements inherent in the process have been fully explained and understood, including the timetable for processing the application, the completed application with all necessary documents and payments must be returned to the Planning office not later than 21 days before the 2<sup>nd</sup> or 4<sup>th</sup> Thursday of each month. Receipt of fee(s) does not constitute receipt of a completed application.

**Ownership:** I the undersigned do hereby agree to all the rules and regulations as set forth in the Long Beach Zoning Ordinance and also agree to pay all fees and charges as stated.

<p><u>DSCD Gulf Coast L.L.C.</u> Name of Rightful Owner (PRINT)</p> <p><u>14231 Seaway Rd Ste. 2001</u> Owner's Mailing Address</p> <p><u>Gulfport, MS 39503</u> City State Zip</p> <p><u>(985) 320-3279</u> Phone</p> <p><u>[Signature]</u> <u>3/27/26</u> Signature of Rightful Owner Date</p>	<p><u>Keenan Scully</u> Name of Agent (PRINT)</p> <p><u>SAME</u> Agent's Mailing Address</p> <p><u>SAME</u> City State Zip</p> <p><u>SAME</u> Phone</p> <p><u>[Signature]</u> <u>3/27/26</u> Signature of Applicant Date</p>
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# MINUTES OF APRIL 23, 2026 REGULAR MEETING LONG BEACH PLANNING and DEVELOPMENT COMMISSION



PREPARED BY  
Law Offices of  
LAURA F. PAL, J.D., PLLC  
16127 Orange Grove Road  
Gulfport, MS 39503  
238-611-1318  
LPT File No.: 2508400  
MS Doc No.: 00722

Re: Bear Point  
Law Offices of  
LAURA F. PAL, J.D., PLLC  
16127 Orange Grove Road  
Gulfport, MS 39503  
238-611-1318  
LPT File No.: 2508400

STATE OF MISSISSIPPI  
COUNTY OF HARRISON

### WARRANTY DEED

For and in consideration of the sum of Ten Dollars (\$10.00), cash in hand paid this date, and other good and valuable consideration, the receipt and sufficiency of all of which is hereby acknowledged:

Long Beach Holdings, LLC, a Mississippi Limited Liability Company, Grantor  
14397 Creeper Rd  
Tulipon, MS 39501  
238-667-7071

Does hereby sell, convey and warrant unto

DSL D Homes (Gulf Coast), LLC, a Delaware Limited Liability Company, Grantee  
7660 Pecan Lane, Ste. 100  
Dutton Rouge, LA 70802  
225-369-6393,

the following described land and property being located in Harrison County, Mississippi, more particularly described as follows:

(See Exhibit A attached)

INDEXING INSTRUCTIONS: Lots 218-220, 231-235, 239-251, 255-267, Bear Point subd, Phase 2, Harrison Co., MS

It is agreed and understood that the taxes for the current year have been prorated and paid in full on an estimated basis and are assumed by the Grantee. Where said taxes are actually determined, if the proration as of this date is incorrect, the Parties hereto agree to pay on the basis of an actual proration.

The conveyance is made expressly subject to any and all restrictive covenants, rights-of-way, easements, and mineral reservations and any other rights now of

record

and which effect the above described property.

WITNESS MY SIGNATURE, on the fourth day of May, 2025.

Long Beach Holdings, LLC

By: *[Signature]*  
Curtis Grant, Manager

STATE OF MISSISSIPPI  
COUNTY OF HARRISON

Personally appeared before me, the undersigned Notary Public, at and for the State of Mississippi, the said Long Beach Holdings, LLC, a Mississippi Limited Liability Company, authorized by its Board of Directors, its officers, its agents, and as its actual and legal representative, to execute and deliver the above and foregoing instrument in the state of Mississippi, after first being duly authorized to do so.

GIVEN UNDER MY HAND AND SEAL THIS 4th DAY OF MAY, 2025.

My Commission Expires:



*[Signature]*  
NOTARY PUBLIC

### EXHIBIT A

#### LEGAL DESCRIPTION

Two Hundred Eighteen (218), Two Hundred Nineteen (219), Two Hundred Twenty (220), Two Hundred Twenty-three (223), Two Hundred Twenty-four (224), Two Hundred Twenty-five (225), Two Hundred Twenty-six (226), Two Hundred Twenty-nine (229), Two Hundred Forty (240), Two Hundred Forty-one (241), Two Hundred Forty-two (242), Two Hundred Forty-three (243), Two Hundred Forty-four (244), Two Hundred Forty-five (245), Two Hundred Forty-six (246), Two Hundred Forty-seven (247), Two Hundred Forty-eight (248), Two Hundred Forty-nine (249), Two Hundred Fifty (250), Two Hundred Fifty-one (251), Two Hundred Fifty-two (252), Two Hundred Fifty-five (255), Two Hundred Fifty-six (256), Two Hundred Fifty-seven (257), Two Hundred Fifty-eight (258), Two Hundred Fifty-nine (259), Two Hundred Sixty (260), Two Hundred Sixty-one (261), Two Hundred Sixty-two (262), Two Hundred Sixty-three (263), Two Hundred Sixty-four (264), Two Hundred Sixty-five (265), Two Hundred Sixty-six (266), Two Hundred Sixty-seven (267), Bear Point Subdivision, Phase 2, a subdivision according to a map or plat of record which is on file and of record in the office of the Chancery Clerk of Harrison County, Mississippi in Plat Book 64 at Page 23, reference to which is hereby made in aid of and as a part of this description.

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ORIGINAL

**FLOODZONE NOTE:**  
THIS PROPERTY IS LOCATED IN F.I.R.M. ZONE "X" ACCORDING TO MAP NUMBER 2804700352G, DATED JUNE 16, 2009.

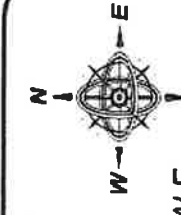
**REFERENCE MATERIALS:**

- 1.) HARRISON COUNTY TAX MAPS, CURRENT EDITION.
- 2.) RECORDED PLAT OF BEAR POINT, PHASE 2, RECORDED IN PLAT BOOK 64 AT PAGES 28-29.

**ABBREVIATION LEGEND:**

- P = PLATTED DIMENSION
- R = RADIUS
- L = ARC LENGTH
- CH = CHORD BEARING & DISTANCE
- 90°00'00"E 435.00' = ACTUAL FIELD MEASUREMENT
- P.T.S. = FRONT YARD SETBACK
- S.P.S. = SIDE YARD SETBACK
- R.Y.S. = REAR YARD SETBACK

**LOT 239**  
**9,637 Sq.Ft.**



**SCALE**  
**1" = 30'**

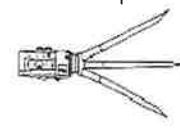
**INFORMATION FOR DSLO:**  
CONCRETE REQUIRED FOR 18" WIDE DRIVEWAY AND SIDEWALKS = 10 CU.YDS.±  
CONCRETE SURFACE = 780 SQ.FT.±  
SOD REQUIRED = 820 SQ.YDS.± (28 ROLL5±)

**NOTES:**

- 1.) CONTRACTOR TO VERIFY HOUSE POSITION/ORIENTATION AND BUILDING SETBACK LINES PRIOR TO CONSTRUCTION.
- 2.) SKETCH ONLY, NOT A BOUNDARY SURVEY.
- 3.) WHEN SETBACKS OVERLAP UTILITY AND/OR DRAINAGE EASEMENTS, SETBACKS ARE TO BE SET ON EASEMENT LINE.



**A PLOT PLAN OF LOT 239, BEAR POINT, PHASE 2, CITY OF LONG BEACH, HARRISON COUNTY, MISSISSIPPI.**

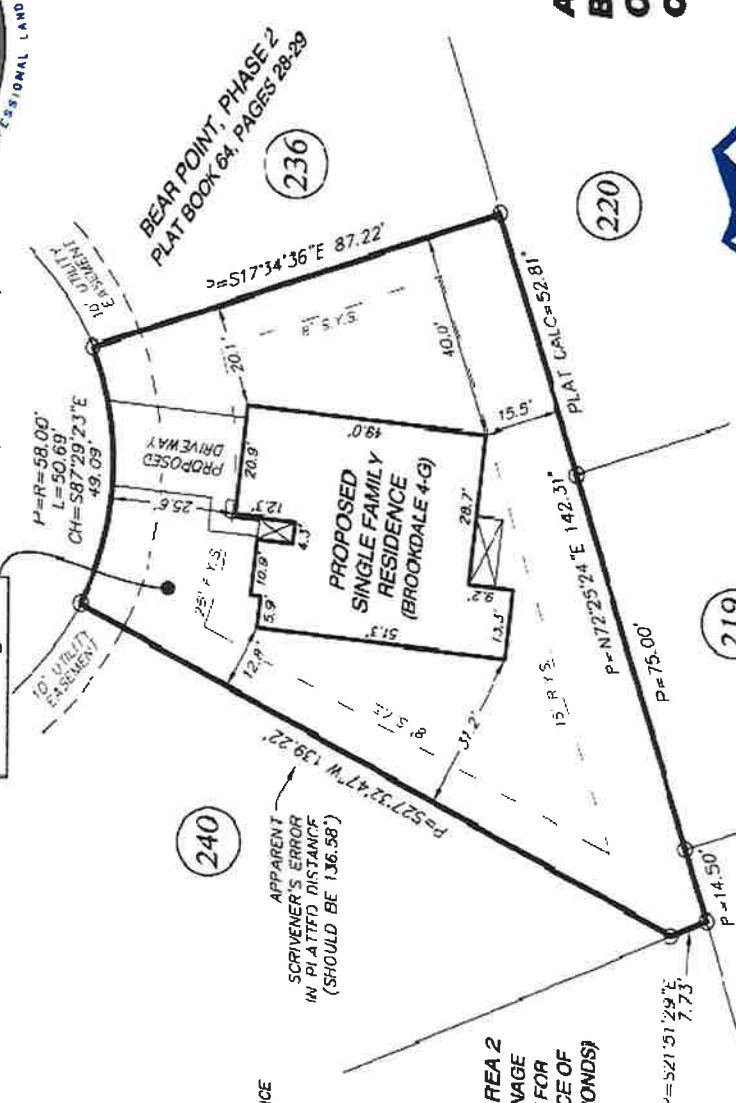


**PATRICK M. MARTINO, PLS**  
19010 KAYLEIGH COVE  
BILOXI, MISSISSIPPI 39532  
PHONE: 228-396-2283  
EMAIL: PATRICK@MARTINOSURVEYING.COM  
**PROFESSIONAL LAND SURVEYOR**



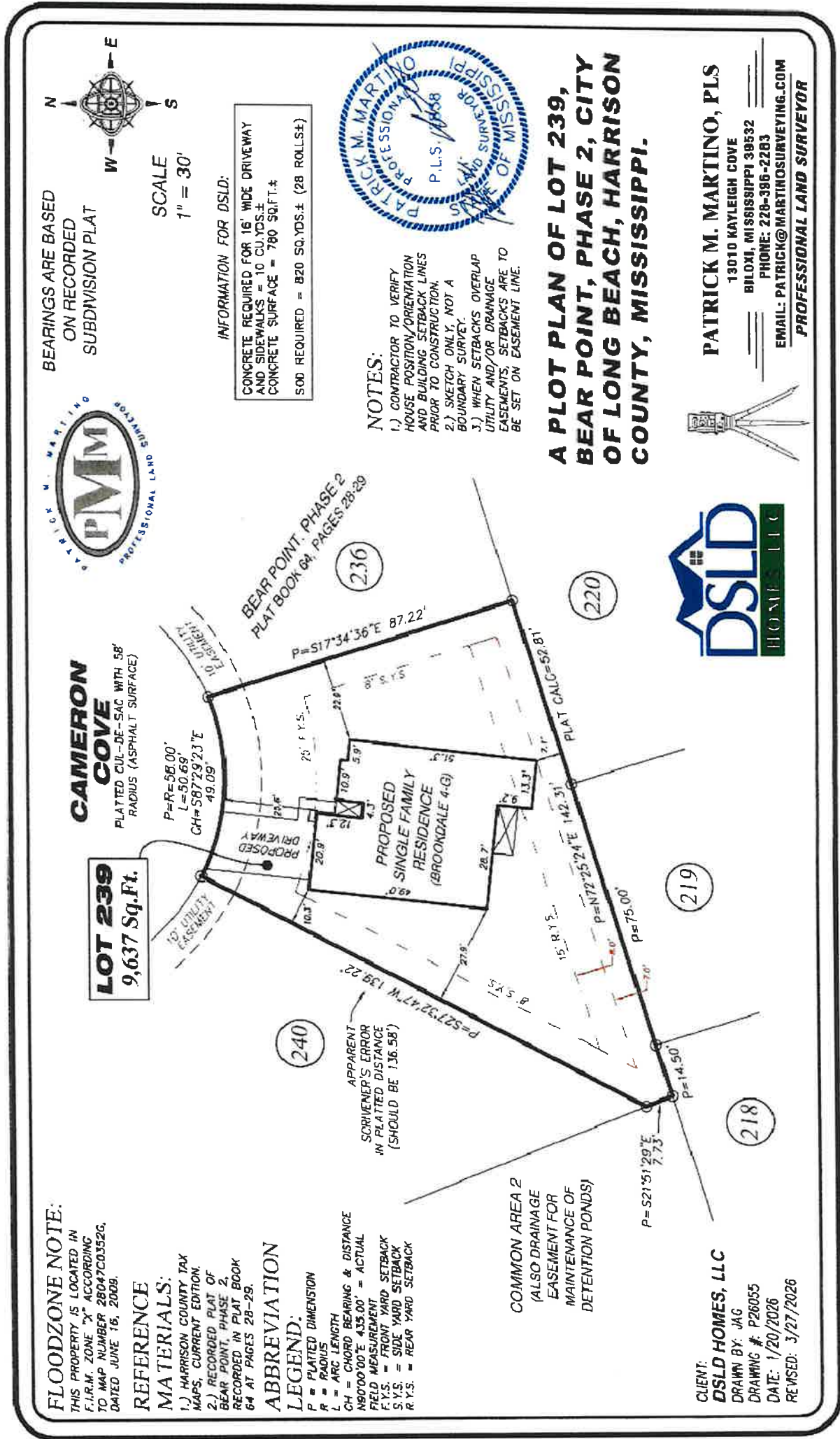
**CLIENT:**  
**DSLD HOMES, LLC**  
DRAWN BY: JAG  
DRAWING #: P26055  
DATE: 1/20/2026

**CAMERON COVE**  
PLATTED CUL-DE-SAC WITH 58' RADIUS (ASPHALT SURFACE)

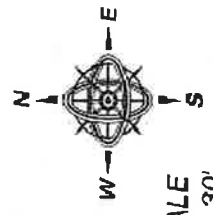
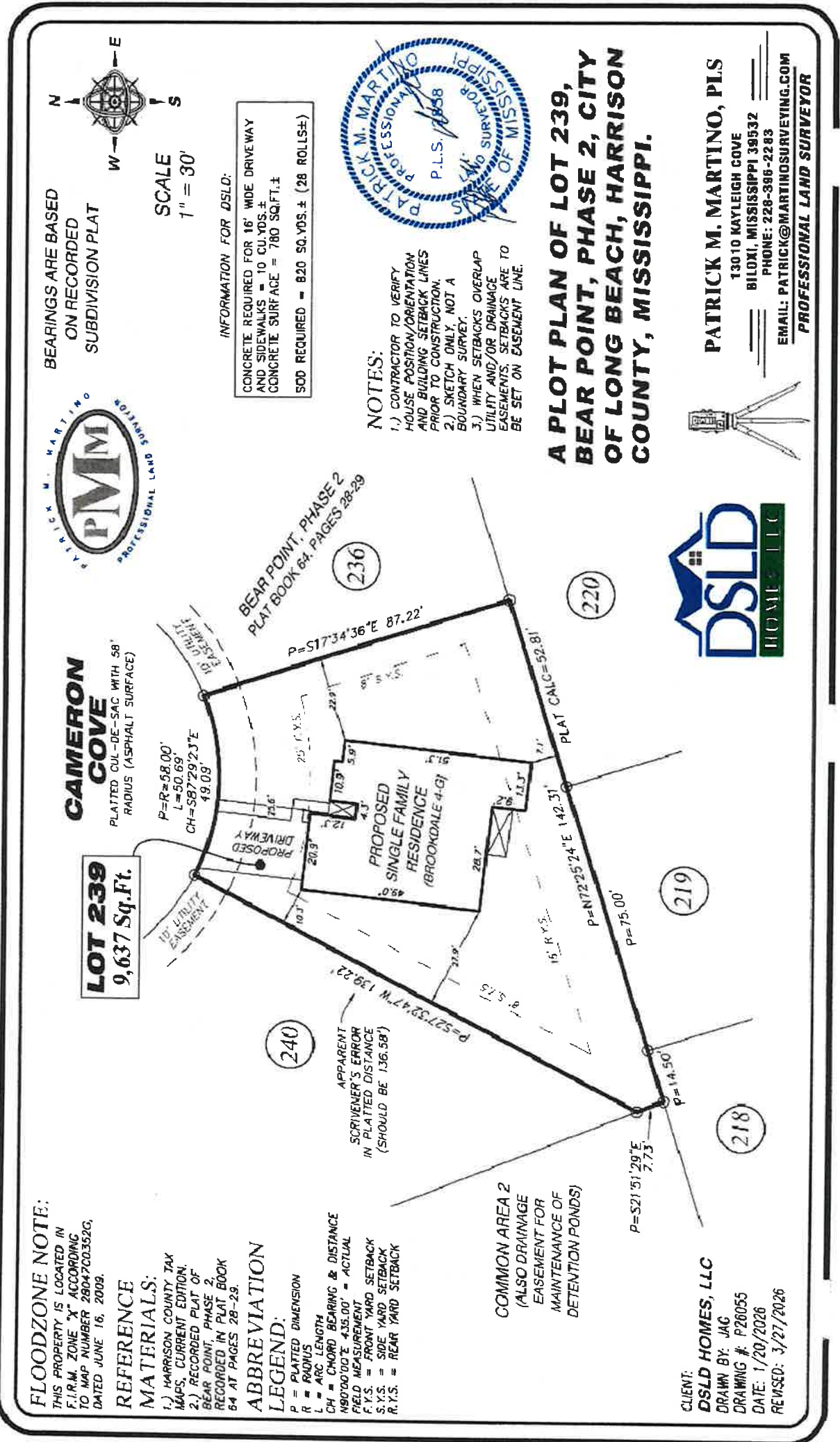


**COMMON AREA 2**  
(ALSO DRAINAGE EASEMENT FOR MAINTENANCE OF DETENTION PONDS)

MINUTES OF APRIL 23, 2026  
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BEARINGS ARE BASED  
ON RECORDED  
SUBDIVISION PLAT

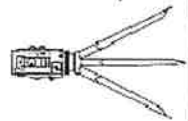
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**A PLOT PLAN OF LOT 239,  
BEAR POINT, PHASE 2, CITY  
OF LONG BEACH, HARRISON  
COUNTY, MISSISSIPPI.**



**PATRICK M. MARTINO, PLS**  
13010 KAYLEIGH COVE  
BILOXI, MISSISSIPPI 39532  
PHONE: 228-396-2283  
EMAIL: PATRICK@MARTINOSURVEYING.COM  
**PROFESSIONAL LAND SURVEYOR**



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(ALSO DRAINAGE EASEMENT FOR MAINTENANCE OF DETENTION PONDS)**

CLIENT: **DSL D HOMES, LLC**  
DRAWN BY: JAG  
DRAWING #: P26055  
DATE: 1/20/2026  
REVISED: 3/27/2026

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The Clerk reported that six (6) notices of public hearing were sent by regular mail to property owners within one hundred sixty feet (160') of the subject property. Notices were also posted on the bulletin boards at City Hall, the Building Official's Office, and the Water Department, 201 Jeff Davis Avenue and the Long Beach Public Library, 209 Jeff Davis Avenue; said notice was ordered as part of these proceedings:



**LEGAL NOTICE  
PUBLIC HEARING**

In accordance with Article XIX of the Comprehensive Long Beach Unified Land Ordinance 508 of the City of Long Beach, Mississippi (2013) as amended, notice is hereby given advising that the Planning and Development Commission for the City of Long Beach will hold a Public Hearing for the purpose of considering a variance.

DSLDC Gulf Coast, LLC, 14231 Seaway Road, Suite 2001, Gulfport, MS, 39503, has filed an application for a Variance in accordance with the Comprehensive Long Beach Unified Land Ordinance. The applicant is requesting "DSLDC is requesting an 8' setback (rear) for newly constructed home in Bear Point Subdivision." The City's requirements for rear setbacks are 15 feet from rear property line. The location of the request is 21 Cameron Cove, Tax Parcel 0511N-C1-C04 005. The legal descriptions are as follows:

LOT 22 BEAR POINT SUBD PH 2

A Public Hearing to consider the above Variance request will be held in the City of Long Beach, Mississippi, 4956J, April 23, 2026 at 5:30 p.m., in the Long Beach City Hall Meeting Room located at 201 Jeff Davis Avenue. The city encourages all residents, groups and organizations to contact the city if they have any questions concerning the petition.

/s/ signed  
Chairman  
Planning and Development Commission

201 Jeff Davis • P.O. Box 429 • Long Beach, MS 39560 • (228) 567-1556 • FAX (228) 567-0822  
www.cityoflongbeach.ms.gov



Moure, Zalexy and Mary E  
70 Cameron Cove  
Long Beach, MS 39560



Huynh, Lam Son and Nguyen  
18 Cameron Cove  
Long Beach, MS 39560



Michelle Ledner  
15 Eliza Lane  
Long Beach, MS 39560

Veal, Hunter and Ashlynn  
17 Eliza Lane  
Long Beach, MS 39560

James Ncaise  
23 Eliza Lane  
Long Beach, MS 39560

Burch, John and Theresa  
1 Gant Lane  
Long Beach, MS 39560

MINUTES OF APRIL 23, 2026  
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AFFIDAVIT

STATE OF MISSISSIPPI  
COUNTY OF HARRISON  
CITY OF LONG BEACH

BEFORE ME, the undersigned legal authority, in administrative and for the jurisdiction of venue, on this day personally appeared before me, TINA M DAHL, known to me to be the Minutes Clerk of the City of Long Beach, Mississippi, Planning Commission, who being by me first duly sworn, deposes and says or oath as follows, to wit:

1. That she is the duly appointed and acting Minutes Clerk of the City of Long Beach, Mississippi Planning Commission;
2. That in such capacity, she is responsible for mailing Notice of Public Meeting for the purpose of notifying property owners within One Hundred Sixty Feet (160') of the subject property, when applications for zoning map change, variances, appeals, etc., are filed, all as stipulated in Ordinance Number 588 of the City of Long Beach and other matters pertaining to such public meetings and the business of the Planning Commission in and for the City of Long Beach;
3. That on March 27, 2026, she did cause to be mailed, Notice of Public Meeting, a copy of which is attached hereto, to 6 (six) property owners within 160 (one hundred sixty feet) excluding right-of-way, of Tax Parcel Number 081N-014014.025, notifying them that a Public Meeting will be held, Tuesday, April 23, 2026, to consider an application for a Variance filed by US-D Golf Course, LLC.

Given under my hand this 27th day of March 2026.

*Emma Ward*  
EMMA WARD, CLERK

SWORN TO AND SUBSCRIBED before me on this the 27th day of March 2026

My Commission Expires  *Nicole Guillot*  
NICOLE GUILLOT, Notary Public

The Clerk reported that she did cause to be published in the Gazebo Gazette, a newspaper with general circulation in the City of Long Beach, and published in Harrison County, Legal Notice of Public Hearing, as evidenced by the Publisher's Proof of Publication as follows:

**Proof of Publication**

STATE OF MISSISSIPPI  
COUNTY OF HARRISON


PERSONALLY appeared before me the undersigned authority, in and for said County, and County of HARRISON, and before me, STEVE LAGARDE, a newspaper printed and published in Harrison County, who being duly sworn, deposes and says: the publication of this notice for the purpose of said public hearing was made on the following dates:

Vol. No. dated day of 2026  
 Vol. No. dated day of 2026  
 Vol. No. dated day of 2026  
 Vol. No. dated day of 2026  
 Vol. No. dated day of 2026  
 Vol. No. dated day of 2026  
 Vol. No. dated day of 2026

UNLESS FURTHER SPECIFIED, this said newspaper has been established and published continuously in said county for a period of more than one month prior to the first publication of said notice.

Subscribed before me this 23rd day of April, A.D. 2026

*James Sanders*  
James Sanders  
Notary Public



Chairman DiLorenzo asked for anyone speaking in favor or opposition and the following came forward:

- Jason Rose, 10 Sylvia Cove, spoke in opposition of the variance with concerns that one variance turns into 2. He is worried variances could become common with small lots in the neighborhood.

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- Kevin Root, 24 Cameron Cove, spoke with concern that granting this variance is setting a precedent for the neighborhood. He also stated that he understands mistakes happen and he does not have a problem with the variance being granted.
- John Karnes, 2 Diane Cove, spoke stating that he understands mistakes happen but he does not want to set a precedent and does not want this to happen over and over again.

At this time, Mitch Byers, Project Manager, DSLD Gulf Coast, LLC, spoke to explain the company has made changes to their procedures to ensure these errors will not happen again.

Commissioner Suthoff made motion, seconded by Commissioner Brown and unanimously carried to close the Public Hearing.

After considerable discussion, Commissioner Suthoff made motion, seconded by Vice Chairman Sterling and unanimously carried recommending to approve the application as submitted.

\*\*\*\*\*

Be it remembered that a Regular Meeting before the Long Beach Planning and Development Commission, Long Beach, Mississippi, was begun at 5:30 o'clock p.m., Thursday, the 23<sup>rd</sup> day of April 2026, in the Long Beach City Hall Meeting Room, 201 Jeff Davis Avenue, in said City, and the same being the time, date and place fixed for holding said Regular Meeting.

There were present and in attendance on said Commission and at the Regular Meeting the following named persons: Chairman David DiLorenzo, Vice Chairman Don Sterling, Commissioners Nicholas Brown, William Suthoff, Tim Dulaney, Joey King, Sean Hughes, Ray Baas, Jr, Philip LeBlanc, Building Official Mike Gundlach, and Minutes Clerk Tina M. Dahl.

Absent the Regular Meeting was Building Inspector Shawn Barlow.

There being a quorum present and sufficient to transact the business of this Regular Meeting, the following proceedings were had and done.

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**MINUTES OF APRIL 23, 2026  
REGULAR MEETING  
LONG BEACH PLANNING and DEVELOPMENT COMMISSION**

Commissioner King made motion, seconded by Commissioner LeBlanc and unanimously carried to approve the Regular Meeting minutes of April 9, 2026, as submitted.

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It came for discussion under Unfinished Business, a Short-Term Rental for the property located at 121 East 2<sup>nd</sup> Street, Tax Parcel 0612B-03-016.000, submitted by Lisa McDermed (owner) and Brian Logan and Bill Anderson (property managers), as follows:

**MINUTES OF APRIL 23, 2026  
REGULAR MEETING  
LONG BEACH PLANNING and DEVELOPMENT COMMISSION**

CITY OF LONG BEACH, MISSISSIPPI							
APPLICATION FOR SHORT-TERM RENTAL							
<b>PHYSICAL ADDRESS:</b> 201 JEFF DAVIS AVENUE LONG BEACH, MS 39560	<b>PHONE:</b> (228) 863-1554 <b>FAX:</b> (228) 863-1558	<b>MAILING ADDRESS:</b> POST OFFICE BOX 929 LONG BEACH, MS 39560					
<b>PROPERTY INFORMATION:</b>							
ADDRESS: <u>121 E. 2ND STREET LONG BEACH, MS 39560</u>		Tax Parcel #: <u>0612b-03-016.000</u>					
(Location of Short-Term Rental)							
<b>OWNER'S INFORMATION:</b>							
Property Owner's Name: <u>Lisa McDermid</u>							
Property Owner's Address: <u>23851 N 103rd Avenue Peoria, Az 85383</u>							
Property Owner's Mailing Address, if different from above: <u>Same as above</u>							
Property Owner's Phone No: <u>602-410-4663</u>		City	State				
Email Address: <u>lisamedermid@westusa.com</u>		Zip					
Is there a homeowner's association for the neighborhood? _____ If so, please provide written statement of support of short term rental?							
<b>PROPERTY MANAGER INFORMATION:</b>							
Property Manager's Name: <u>Brian Logan</u> <i>Bill Anderson 228-215-3234</i>							
Property Manager's Address: (Must be a local contact) <u>2100 18th Street Gulfport, Ms. 39501</u> <i>Bill Curb@gmail.com</i>							
Property Manager's Phone No: <u>228-669-3058</u>		City	State				
Email Address: <u>logabri3@gmail.com</u>		Zip					
<b>PLEASE PROVIDE THE FOLLOWING:</b>							
<ul style="list-style-type: none"> <li>• Mississippi Sales Tax ID #: <u>VR800</u></li> <li>✓ Recorded Warranty Deed</li> <li>✓ Parking Rules &amp; Plan</li> <li>✓ Trash Management Plan</li> <li>✓ Copy of Proposed Rental Agreement</li> <li>• Proof of Liability Insurance, which includes short term rental coverage ✓</li> </ul>							
<b>ADDITIONAL INFORMATION:</b>							
<ul style="list-style-type: none"> <li>• Completed written statement of compliance.</li> <li>• FEES: \$250, nonrefundable application fee \$500, yearly renewable fee. Checks should be made payable to the City of Long Beach.</li> <li>• LICENSE: A Privilege Tax License must be applied and paid for after approval.</li> <li>• INCOMPLETE APPLICATIONS will not be processed.</li> </ul>							
<b>AFFIDAVIT</b>							
I HEREBY CERTIFY THAT I HAVE READ THIS APPLICATION AND THAT ALL INFORMATION CONTAINED HEREIN IS TRUE AND CORRECT. I ACKNOWLEDGE RECEIPT OF AND AGREE TO COMPLY WITH THE RULES & REGULATIONS OF SHORT TERM RENTALS (Ordinance 660). ALL APPLICABLE CODES, ORDINANCES AND STATE LAWS. VIOLATION OF ANY CODES OR REGULATIONS SHALL RESULT IN THE SUSPENSION OR REVOCATION OF THE PERMIT							
PRINT NAME	SIGNATURE		DATE				
<u>Lisa McDermid</u>	<i>Lisa McDermid</i>		<u>01/28/2026</u>				
<b>BELOW IS FOR OFFICE USE ONLY</b>							
Maximum Occupancy: <u>8</u>	Maximum Vehicles allowed: <u>3</u>	Number of bedrooms: <u>3</u>	Number of people home can accommodate: <u>8</u>				
I AFFIRM THAT THE APPLICANT IS IN COMPLIANCE WITH ALL APPLICABLE ZONING REQUIREMENTS, BUILDING & FIRE CODES; AND THAT ALL APPLICABLE TAXES, FEES AND OTHER CHARGES HAVE BEEN PAID							
Building Official Signature: <i>Chawn Barlow</i>		Date: <u>3/19/26</u>					
Fire Inspector Signature: _____		Date: _____					
COMMENTS: _____							
<table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <td>Date Received: <u>3/18/26</u></td> </tr> <tr> <td>Agenda Date: <u>3/26/26</u></td> </tr> <tr> <td>Amount Due/Paid: <u>250.00</u></td> </tr> <tr> <td>Payment Method: <u>4234</u></td> </tr> </table>				Date Received: <u>3/18/26</u>	Agenda Date: <u>3/26/26</u>	Amount Due/Paid: <u>250.00</u>	Payment Method: <u>4234</u>
Date Received: <u>3/18/26</u>							
Agenda Date: <u>3/26/26</u>							
Amount Due/Paid: <u>250.00</u>							
Payment Method: <u>4234</u>							



**MINUTES OF APRIL 23, 2026  
REGULAR MEETING  
LONG BEACH PLANNING and DEVELOPMENT COMMISSION  
Parking Rules & Plan**

**Property Address:** 121 2nd St, Long Beach, MS 39560

**Regulatory Compliance:** This Parking Plan is established in accordance with the requirements of the City of Long Beach.

**Guest Communication:** Guests are instructed verbally during orientation before arrival about the parking rules. A discussion of the parking policy is also included in the guest book.

**Parking Rules:**

1. Vehicles cannot be parked on the grass.
2. Vehicles must be parked on the driveway or in authorized marked street parking areas only.
3. Do not park on neighbors' property.
4. It is recommended that you leave no valuables inside the vehicle, particularly anything that can be seen.
5. Lock your vehicle when not in use.
6. Do not leave your vehicle running unless you are arriving or leaving.
7. Be cautious pulling out of the driveway, as the fire department across the street may be operating heavy equipment.



**Trash Management Plan**

**Property Address:** 121 Second St, Long Beach, MS 39560

**Regulatory Compliance** This Trash Management Plan is established and maintained in accordance with the requirements set forth by the City of Long Beach. Adherence to these guidelines is mandatory for all occupants to ensure sanitation, neighborhood aesthetics, and regulatory compliance.

**Tenant Instructions & Procedures**

The following protocols are communicated to all guests verbally upon check-in and are documented in the property Guest Book.

**1. Collection Schedule & Curbside Placement**

- **Collection Day:** Trash collection occurs every **Monday**.
- **Placement:** Tenants must place the large outdoor trash containers at the curb on **Sunday evening** to ensure pickup.
- **Curbside Restrictions:** Trash containers must **never** be placed at the curb prior to **12:00 PM (Noon)** on Sunday.

**2. Bagging & Preparation**

- **Mandatory Bagging:** All refuse must be secured inside plastic trash bags before being placed in the outdoor containers. Loose trash is prohibited.
- **Supplies:** Plastic trash bags are provided for tenant use.

**3. Internal & External Disposal Flow**

- **Indoor Disposal:** All waste generated inside the property must be placed into the trash receptacles located throughout the house.
- **Consolidation:** Tenants are responsible for consolidating accumulated trash from indoor receptacles into the designated large outdoor trash containers.
- **Storage Restrictions:** Trash must never be stored outside the house (e.g., on porches, decks, or lawns) outside of the designated containers.

**4. Sanitation & Site Maintenance**

- **Container Security:** Trash container lids must remain closed at all times to prevent pest infestation and debris scattering.
- **Littering:** Littering on the property or surrounding areas is strictly prohibited and is illegal under local ordinances.

**MINUTES OF APRIL 23, 2026  
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LONG BEACH PLANNING and DEVELOPMENT COMMISSION**

**Issue Resolution**

If you experience any issues regarding waste disposal, missing bins, or missed collections, please contact the Property Manager immediately.

*Failure to comply with this plan may result in fines or penalties as outlined by the City of Long Beach.*

**SHORT-TERM RENTAL PROPERTY MANAGEMENT  
AGREEMENT**

**IN CONSIDERATION** of the covenants herein contained, hereinafter designated as **Lisa McDermed and**, Owner, to employ **Gulf Coast Property Management LLC (DBA Christies Gulf Beach Rentals)** as exclusive Agent, hereinafter designated as **Agent**, to rent, lease, operate, and manage the real property known as **121 E. Second St, Long Beach, MS 39560** (Premises) described as a **single-family residence** commencing on this date **January 30, 2026** and terminating at midnight on **January 29, 2027**, upon the following terms and conditions.

This agreement will automatically renew for an additional one-year period. The owner has 30 days to acknowledge or accept the new terms as written for the extension. Should a delay occur in signing a new agreement after the expiration date, both parties agree management services will be extended for one year or until another agreement or extension is provided by the Agent. Either party may terminate this agreement with 60 days written notice to the other.

**AGENT'S AUTHORITIES AND OBLIGATIONS**

1. **Advertising:** To advertise the availability of the Premises through Christies Gulf Beach Rentals website and third-party websites and directly to influencers.
2. **Access:** To use an electronic lock to permit access to the Premises to the Agent, guests, and maintenance vendors. Owner acknowledges that Agent is not insuring Owner against theft, loss, utility usage, or vandalism resulting from such access or while the unit is vacant.
3. **Guest Terms:** Guests will be advised of the terms and conditions of their use of the property. They will agree to comply with the terms and conditions. From time to time, a guest may inflict damage upon the property or remove item(s) without permission. The owner acknowledges that this is a cost of doing business and agrees to repair or replace as necessary to maintain the property in good operating condition. The owner agrees that the Agent is not liable for damage or removal of items by guests. Guests are responsible for damage or theft caused during their stay as stipulated in the agreement they sign with the third party to follow the rules established by the host/owner. Violations of the guest/host/third party agreement will be addressed by Agent if and when discovered, Agent is not responsible for guest violations of the policy.
4. **Pet Policy:** To follow the Pet Policy. The owner must provide instructions about the acceptance of pets. Type, number, size, etc. No animals.

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5. **Collection & Disbursement:** To collect rents, security deposits, and other receipts, and to deposit such monies into the owner's bank account. All funds collected from guests through the reservation system will be considered pre-payment for their stay. The agent will only disburse funds to the Owner after the guest has completed their stay. Funds will be disbursed by the 10th of the following month directly into the owner's bank account. The owner acknowledges that only funds received and earned will be disbursed. Funds from guests staying the last few days of the month where payment is not earned until the next month will be paid in the next cycle.
6. **Sales Tax:** The agent will submit on behalf of the owner, sales tax payments required by Mississippi law monthly. Taxes are collected from guests as a separate line item and are not subject to the Agent's management fee. The current sales tax rate is 12% of the gross amount paid directly through our website or a third party (the tax rate may change). The gross amount does not include cleaning fees. Airbnb and VRBO currently collect and pay taxes to the state on behalf of the Owner. Tax payments are recorded in the owner's report. Taxes only apply to short-term rentals.
7. **Legal Action:** To employ attorneys to enforce the Owner's rights under third-party agreements and institute legal action on behalf of the Owner.
8. **Owner Usage:** The owner can use the property only after consulting with the Agent and scheduling their stay in advance. There is a cleaning fee that must be paid for owners and their guests. A cleaning fee will be deducted from the monthly reimbursement. The exception to the cleaning fee is if the owner leaves the property EXACTLY as they found it.
9. **Cleaning Fees:** Cleaning fees are charged directly to guests. The owner does not participate in the cleaning fee income, this amount is deducted from the fees collected from 3rd party providers and any guests booking through the Christies Gulf Beach Rentals website. Pool cleaning and grounds maintenance are not included in the cleaning fee. Owner must make arrangements for pool cleaning and maintenance services and pay the cost directly to the vendor.

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**MINUTES OF APRIL 23, 2026**  
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- 10. Management Services: To provide reasonably necessary services for the proper management of the property including recommending, reporting observations including recommended, alterations, and repairs as may be required by the Owner. A guest information binder will be prepared and placed on the property. This requires Owner participation to complete. The guest information binder and its contents remain the property of Christies Gulf Beach Rentals should the agreement terminate. The contents are considered proprietary even with the Owner input. Christies Gulf Beach Rentals will attempt to obtain compensation from third parties should guests create damage to the property that Agent is aware of. VRBO and AirBnb have programs but they are not very effective, regardless effort will be made have them pay if the guests refuse to pay for damage.
- 11. Contractors: To hire, supervise, and discharge all independent contractors required in the operation, maintenance, and refurbishment of the property. The agent has a preferred vendor list that they will primarily use for any repairs at the premises. In order to reduce liability to the Owner and comply with federal law, All invoices are billed to the Owner in the care of the Agent. Owner always has the option to perform all repairs with their own contractor.
- 12. Repair Limits: To contract for repairs or alterations at a cost to the Owner not to exceed \$350.00 per repair (repair limit does not apply to HVAC or water heater repairs/replacement). The agent is not required to notify the Owner in advance of repairs under the \$350.00 authorized limit prior to ordering or completion of the repair (regular communication will ensure the owner is aware). Invoice copies will be maintained by the Agent as required by law. Expenses above the repair limit shall be in such amounts as agreed by the Owner and Agent, except recurring (monthly) operating charges and/or emergency repairs in excess of the maximum. Owner authorizes Agent to use reserve or other Owner's funds held by the Agent for repairs that are necessary to protect the Premises from damage or to maintain services to the tenant as required in their leases or by local, state, or federal laws.
- 13. Emergency Repairs: To contract for emergency repairs and expenses that are necessary for the protection of the property from damage, or to provide services to the tenants provided for in their leases and the Landlord Tenant Act. (including but not limited to: HVAC failures, water line breakage, sewage backflow, roof, structural or other failures). Owner will be notified the next business day or sooner about emergency repairs.

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- 14. Utilities & Supplies: To contact as Agent deems necessary for utilities, appliances, services, non-tenant related pest control (termites, bees, scorpions, etc.), and supplies for the operation, maintenance, and safety of the Premises. Owner agrees to turn on necessary utilities in their name. Agent will attempt to manipulate the air conditioning system to reduce the owner's cost. Agent strongly recommends that the Owner have a wifi thermostat installed to provide the Agent with control of the comfort of the guests while attempting to reduce the cost of utilities to operate the system when vacant.
- 15. Safety Alarms: To replace, install, or repair smoke and carbon monoxide detectors and/or alarms as required by law. The fee for this service is included in the fee schedule.
- 16. Home Warranties: To cooperate with various home warranty companies in the maintenance of the property (when applicable). If warranties are not presented at the time of PMA commencement, the Agent will not be liable for work performed by a repair service of the Agent's choice. Should Agent determine that the warranty company or its subcontractor is unresponsive or untimely, Agent may contract for necessary repairs with a repair service company of their choice at Owner's expense. Owner assumes all responsibility for the renewal of warranty contract(s) and payment of policy premiums. A warranty coordination fee may be charged at the Agent hourly rate if working with the warranty company causes the Agent to spend time above and beyond a normal repair.
- 18. IRS Reporting: To report Owner income as required by law and issue the Owner an IRS 1099 Miscellaneous Income form (or IRS 1042S Income form for foreign investors) for all taxable funds received. Owner consents to receive substitute IRS forms online and acknowledges they have the ability to access their online portal. Instructions for printing forms and making changes to Owner information is provided through the Owners online portal. In the event the Owner can not access their tax forms online, a paper copy can be provided upon written request to Agent. Owner agrees to complete a W-9 or other applicable tax forms with an accurate tax identification number and address, in addition to any other requested information or required tax form, and to notify the Agent of any changes. Any fines assessed due to inaccurate information provided by Owner or changes to Owner's information will be charged to the Owner. Agent files monthly Mississippi state occupancy tax return.
- 19. Record Keeping: To maintain accurate records of all monies received and disbursed in connection with the management of the property. Owner has 24/7 web access to financial data and has the right to access their data through the Client Portal.

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20. **Owner Proceeds:** To deposit net proceeds into Owner accounts on or about the 10th of the following month. Owners requesting a check at any other time of the month may be charged an "out of cycle" \$25.00 processing fee. Funds will be sent through the Agent's bank bill pay which may or may not create an electronic transfer to the Owner's bank account. Payments will not be mailed, funds must be deposited directly into the Owners bank account. Wire transfers require additional fees and will only be done upon request at the owner's cost. The owner will provide an email address for online statement notification and bank account information for direct deposit purposes. Should an email address or bank account change, the Owner agrees to notify the Agent. Agents will provide access to owners' reports via a link to a Google Sheet. This report is available 24/7 and owners will be responsible for viewing this report at their leisure. No report will be sent as this report will be updated as new information is provided.
21. **Other Authorized Expenses:** None. Any loan payments, property taxes, privilege use taxes, insurance and homeowners association payments are the direct responsibility of Owner. Owner may direct Agent to make payments on his behalf, using coupons, vouchers, or billing statements, which must be provided by Owner. An accounting service fee (see fee schedule) per month for additional services (monthly impound accounts, property tax payments, acting as Owner's statutory agent, etc.) will be charged as services are rendered. Owner is solely liable for any changes. If the Agent does not receive payment instructions in a timely fashion, the Owner is solely liable and no payment will be made. Agent is not responsible for any late fees and/or credit issues due to late payments for any items referred to in this paragraph. Agent cannot under any circumstances advance money for payment of Owner's obligation.
22. **Referrals:** Agents from time to time will refer individuals requesting a stay at Owners property to stay at other owners properties when the Owners property is booked. In exchange, Agent will book guests that are overages from other owners' properties that Agent manages. Owner receives compensation based upon the rate paid to the original owner, less Agent's usual commission, cleaning fees and taxes if applicable.
23. **Exclusivity: Additional Terms:** This is the only contract with a property management company that is valid. Any previous agreements with property managers or persons to manage the property have been terminated. The Owner understands that Agent will not interfere with an existing contract and Owner agrees to indemnify Agent against any claims from previous contractors.

**OWNER'S OBLIGATIONS**

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1. **Insurance:** Owner agrees to carry, at Owner's expense, bodily injury, property damage and personal injury liability insurance in the amount of not less than \$300,000 per person or three hundred thousand (\$300,000) if the Premises contain a pool, attractive nuisance or latent defects. In cases of a condominium/townhouse policy, Owner shall carry a minimum of \$300,000 additional liability. The policy shall be written on a comprehensive general liability form and shall name the Agent as additional insured. Owner shall immediately furnish Agent with a certificate of insurance evidencing that the coverage is in force with a carrier acceptable to Agent. If Owner does not provide evidence of such insurance, Agent may purchase such coverage at Owner's expense. In the event the Agent receives notice that said insurance coverage is to be canceled, the Agent shall have the option to immediately cancel this agreement.
2. **Pool Safety:** If the Premises has a pool, the Owner, at Owner's expense, shall comply with all applicable state, county, and municipal swimming pool barrier laws or regulations prior to the Premises being occupied. Each city code varies, and information can be located at the city's governmental website.
3. **Legal Authority:** Owner represents that Owner has the legal authority to lease the Premises. The undersigned Owner of the property hereby affirms that: a.) The property is insured as a rental, with an Agent named as additional insured, and b.) The Homeowners Association (HOA) is aware of and approves the use of the property as a rental.
4. **Disclosures:** Owner will disclose in writing all known defects, latent or obvious, to the Agent and warrants that the Premises are in a safe and sanitary condition as of the contract date. The agent will provide a preferred disclosure form for Owner convenience, but regardless of the form used, the Owner acknowledges that failure to make legally required disclosures may result in civil liability. The owner shall comply with all lead-based paint (LBP) laws. If the property was built prior to 1978, the owner shall notify the Agent of any known LBP or LBP hazards in the premises and provide the Agent with any LBP risk assessments or inspections of the premises. Further, the owner agrees to provide EPA-approved LBP forms upon Agent request.
5. **Guest Fulfillment:** Owner shall fulfill all Owner's obligations to the Guest pursuant to the rental agreement as required by law.
6. **Relations:** Owner agrees that Agent shall handle Guest relations and Agent discourages Owner from contacting the guests directly. Owner shall not visit or enter premises without notifying the Agent in advance to determine if there is a Guest in residence.
7. **Hiring Agent Employees:** Owner shall not hire or contract with any employee of the Agent to do any work or perform any service related to the Premises without the Agent prior written consent.

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8. Pricing: Owner agrees that Agent will set prices for the property based upon research of the market at the time and other factors that will lead Agent to price the property competitively. Agent will consult the owner when major price changes are to be made. Owner acknowledges that 3rd party platforms offer discounts for new properties which will reduce the rate paid by guests for some first rentals.
9. Foreclosure Disclosure: Owner certifies that all mortgage obligations, property taxes, association fees, (and/or any other obligations which could lead to any default or foreclosure action against the Premises) are current at this time and further agrees to keep them current and paid in full as required. Should the Agent be notified in any manner that a foreclosure action has been initiated against the subject property, the Owner authorizes Agent to freeze all funds related to that property and Agent will make no further disbursement to the Owner. Owner has 30 days to cure the default that initiated the foreclosure action or provide evidence that the foreclosure was initiated erroneously by the lending institution. Should Owner fail to cure the default, Owner authorizes Agent to refund the prepaid funds to Guest and to deduct from any Owner's funds on hand with Agent all amounts due to Agent or Guest including, but not limited to, any refund to Guest of prorated payment. Owner and Agent agrees that nothing in this paragraph shall limit Agent's other legal remedies to collect from Owner any unpaid fees due to Agent.
10. Licensing: Owner agrees to purchase any business license or other license required by the applicable governmental authority and pay any fees or taxes when due. Owner, at Owner's expense, Agent agrees to assist Owner in applying for licensing and registering the Premises with the appropriate county on the owner's behalf.
11. Updates: Owner agrees to notify the Agent immediately of any changes in the Owner's contact information (including but not limited to) mailing address, phone number, email address, and banking information (for ACH payments). Owner agrees to notify the Agent immediately of any change in ownership or title for the Premises.
12. Assignment: Neither Agent nor Owner may assign any rights or obligations pursuant to the Property Management agreement without the prior consent of the other party. This agreement is entered into by and between the Owner and Agent, and shall be binding upon the successor and assigns of the Agent, and the heirs, executors, administrators, successors, and assigns of the Owner in the event of death or other incapacitation of either party.
13. Waiver of Jury Trial: The parties to this agreement agree that neither side will request a jury trial in the event of litigation. The parties specifically waive their right to a jury trial and agree that any court action is determined by a Judge only.

**COMPENSATION**

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Owner agrees to pay Agent fees for services rendered at the rates in Attachment A - Fee Schedule. The owner agrees to assign to the Agent all guest payments (including guest payments paid directly to the Owner) and other income collected for the purposes specified in this Agreement, including the payment of obligations incurred. Such compensation is due and payable on demand and may be collected from any of the Owner's funds.

1. **MANAGEMENT SERVICES:** The owner agrees that the management fee represents payment for management and marketing services. The management fee listed in Attachment A.
2. **ACCEPTANCE OF PRIOR MANAGER'S BOOKINGS:** Owner agrees to compensate Agent the amount of 10% of gross revenue except for cleaning fees, for any and all bookings that were booked by prior managers but occur after this agreement is signed. Owner agrees to provide Agent a complete list of all bookings with details about guests, dates, revenue and all other information usually collected for a booking.
3. **CLIENT PORTAL:** The client portal is the way Owner will see documents related to collection of guest fees and other revenue. Owner will be responsible to view the portal and printing as needed copies of the report. Only revenue where Agent receives payment will be recorded.
4. **SALE OF PROPERTY:** By separate agreement, the Agent is affiliated with Logan-Anderson, Gulf Coastal Realtors.
5. **OTHER SERVICES:** See Attachment A - Fee schedule. Should the Owner agree to any supplemental services such as accounting, the Owner will indicate that this is a service they desire by initialing the line item on the Attachment.

**ACCESS TO PROPERTY**

No persons are permitted access to the property including owners without prior notice to Agent. This notice must be sent by text or email to create a record. Owners and owners friends, family or associates may use the property after booking their stay. This booking is sufficient notice. If contractors or others need access, owner is to contact Agent in advance to arrange for this. If anything is added or removed from the property by owners contractors or others that the owner has asked for access, Agent will be notified of the activity in advance.

**TERMINATION**

Either party may terminate this agreement with 60 days' written notice to the other party or parties. Termination without proper notice or at any time other than the agreement ending date will result in cancellation fees (on occupied properties). Upon termination of the management agreement, the Agent shall provide the Owner with a final accounting. Agent shall make available to the Owner a final accounting statement on the client portal and

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Owner distribution check within 35 days of the termination date. Any prepayments held will be transferred into the Owner's funds after deducting the management fee for the work to obtain the reservation. There is a \$300 early termination fee to compensate the Agent for work completed on behalf of the Owner to modify the Agent's websites and to remove third-party postings., except in case of Owner default, and accounted for in the final statement. Should there remain additional outstanding payables, known or expected, the Agent may withhold an estimated amount to cover them and account to the Owner as soon as the payment is made but not to exceed 75 days from the termination date. Should the Owner have a shortage in his account to cover all final payables, the Owner agrees to deliver funds to the Agent upon demand within five (5) calendar days. In the event of foreclosure, Agent shall be entitled to all of the management fees that would be due to Agent through the end of the management agreement or lease (whichever ends later). If the Owner cancels at any time other than the management agreement ending date with a tenant in place, full management fees are due for the 60-day cancellation period. Neither termination of this agreement by either party nor sale or foreclosure of the Premises shall affect the obligation of Owner to pay the commission to the Agent.

**TERMINATION OF AGREEMENT**

If Owner or Agent decides to terminate this agreement per the provisions included in this agreement, the Agent is under no obligation to provide any data regarding reservations in place for Owners property beyond the termination date. The Agent may find other accommodation for guests or, upon payment by Owner to Agent for the uncompensated effort to advertise and manage the guest reservation system and provide information about guest reservations. There is a \$300 early termination fee for any agreement terminated by Owner prior to the expiration of this agreement.



**OTHER TERMS**

Unless otherwise provided, delivery of all notices, statements, reports, and disbursements ("Notice") required or permitted hereunder shall be delivered in writing addressed to Owner or Agent and deemed delivered and received when: (i) hand-delivered; (ii) sent via facsimile transmission; (iii) sent via electronic mail, if email addresses provided herein; (iv) sent via recognized overnight courier service; or (v) sent by U.S. mail, in which case the Notice shall be deemed received when actually received or five (5) days after the Notice is mailed, whichever occurs first. This is intended to be a legally binding contract. This Agreement shall be governed by Mississippi law and jurisdiction is exclusively conferred on the State of Mississippi. No representation is made as to the legal validity or adequacy of any provision or the tax consequences thereof. Owner acknowledges and agrees that the Agent may now or in the future represent other owners of similar properties. The owner recognizes, acknowledges, and agrees that the Agent is not qualified or licensed to provide legal or tax advice. If you desire legal or tax advice, consult your attorney or tax advisor. This agreement

**Agreement Details & Signature Page**

<b>Agreement Details</b>	
<b>Owner Name</b>	Lisa McDermed and
<b>Agent Name</b>	Gulf Coast Property Management LLC (DBA Christies Gulf Beach Rentals)
<b>Property Address</b>	121 E. Second St, Long Beach, MS 39560
<b>Property Type</b>	single-family residence
<b>Start Date</b>	January 30, 2026
<b>End Date</b>	January 29, 2027
<b>Client Responsible Party</b>	Lisa McDermed
<b>Client Company Name</b>	
<b>Client Tax ID</b>	
<b>Client Mailing Address</b>	23851 N 103rd Ave, Peoria, AZ 85383
<b>Name of Property</b>	
<b>Owner Email (optional)</b>	lisamcdermed@westusa.com

**Signatures**

 Lisa McDermed    01/20/26 _____ Owner Signature	 Bill Anderson    01/19/26 _____ Agent Signature
_____ Date	_____ Date

MINUTES OF APRIL 23, 2026  
REGULAR MEETING  
LONG BEACH PLANNING and DEVELOPMENT COMMISSION

and applicable attachments are the entire agreement between the Owner and Agent, and there are no other covenants, promises, agreements, conditions, or understandings, oral or written between them. Any change or alteration to this agreement must be in writing. Agent may modify this agreement with a minimum 30-day written notice to Owner. Modifications may apply to this agreement and any future revisions. Owner agrees to pay applicable state gross receipts tax (service tax) if adopted by the state. If any provision in this agreement is held by any Court to be unlawful, invalid or unenforceable, that provision shall be voided, but all other terms and conditions shall remain in effect. Agent will not be responsible to account for such interest to Owner. In the event of any legal action by the parties arising out of this agreement, the prevailing party shall be entitled to reasonable attorney's fees and costs, to be determined by the court in which such action is brought. If any of the Premises shall ever be foreclosed upon or condemned, this agreement shall immediately be terminated without further action or notification required by either party. Agent accepts employment under the term of and agrees to use diligence in the exercise of the obligations, duties, and authorities in herein upon Agent.

\\hst01esgullbeach\hst01esgullbeach\contracts

Page 10 of 11

**DP3 SPECIAL FORM DECLARATION**

This Declaration Page is attached to and forms part of certificate provisions.

Previous No. Authority Ref. No. See Attached VUAI 001 Certificate No. VAVDW001727

1 Name and address of the Assured  
LISA MCDERMED  
121 East 2nd Street  
Long Beach, Mississippi 39560  
Broker  
Rural Insurance Agency  
6311 Ridgewood Road, Jackson, MS 39211

Business description: DWELLING

2 Effective from 1/29/2026 to 1/29/2027  
both days at 12:01 a.m. standard time

3 INSURER  
See attached form VUAI 001 100%

4 This Certificate consists of the following Coverage Parts for which a Premium is indicated. This Premium may be subject to adjustment.		Premium
Dwelling Policy Premium	\$	\$3,588
Policy Fee \$150.00	\$	
Carrier Policy Fee \$100.00	\$	
Home Inspection Fee \$250.00	\$	
Surplus Lines Tax \$163.44	\$	
Service Office Fees \$10.22	\$	
Policy Fee - MS \$122.58	\$	
	FEES \$	500.00
	TAXES \$	296.24
	Total: \$	4,382.24

This insurance policy is issued pursuant to Mississippi law covering surplus lines insurance. The company issuing the policy is not licensed by the State of Mississippi, but is authorized to do business in Mississippi as a nonadmitted company. The policy is not protected by the Mississippi Insurance Guaranty Association in the event of the insurer's insolvency.

5 Forms Applicable to all Coverage Parts: SEE ATTACHED SCHEDULE OF FORMS AND ENDORSEMENTS  
IERMS 25% MINIMUM EARNED PREMIUM

6 Service of Suit may be made upon: REFER TO ATTACHED NMA 1980A & EBSIC-SOS-IL0002

In return for the Payment of the premium, and subject to all the terms of this Certificate, we agree to provide the insurance as stated in this certificate.

Dated 1/30/2026

**MINUTES OF APRIL 23, 2026  
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LONG BEACH PLANNING and DEVELOPMENT COMMISSION**

DWELLING COVERAGE PART  
SUPPLEMENTAL DECLARATIONS

Certificate No. VAVDW001727

Effective Date: 1/29/2026  
12.01 A.M. Standard Time

Named Insured: LISA MCDERMED

**LOCATION**

LOCATION: 121 East 2nd Street, Long Beach, MS 39560

**COVERAGES PROVIDED – INSURANCE AT THE DESCRIBED LOCATION APPLIES ONLY FOR COVERAGES FOR WHICH A LIMIT OF INSURANCE IS SHOWN.**

<b>DWELLING PROPERTY COVERAGE</b>			
Coverage A	Dwelling	USD	\$250,000
Coverage B	Other Structures	USD	\$0
Coverage C	Personal Property	USD	\$0
Coverage D	Fair Rental Value	USD	\$0
	A-D TOTAL	USD	\$250,000
	Scheduled Properties	USD	
<b>DWELLING LIABILITY COVERAGE</b>			
Coverage E	Liability	USD	\$300,000
Coverage F	Medical Payments	USD	\$5,000
<b>PREMIUM:</b>		USD	\$3,586

**MORTGAGE HOLDERS(S)**

PREM. NO. BLDG. NO. MORTGAGE HOLDER NAME AND MAILING ADDRESS

**DEDUCTIBLE:**

Underwriters shall not be liable for the first USD 2,500 each and every loss, BUT INCREASED TO USD 12,500 EACH AND EVER LOSS IN RESPECT OF WIND OR HAIL.

THIS SUPPLEMENTAL DECLARATIONS AND THE COMMERCIAL PROPERTY DECLARATIONS, TOGETHER WITH THE COMMON POLICY CONDITIONS, COVERAGE FORM(S) AND ENDORSEMENTS COMPLETE THE ABOVE NUMBERED CERTIFICATE.

Wherever in the policy the words "Company" or "Named Insured" appear therein they are deemed to mean "Underwriters" or "Assured" respectively

After discussion, Commissioner Hughes made motion, seconded by Commissioner Baas, Jr. and unanimously carried to deny the application as submitted due to the applicant being absent for the third meeting in a row.

\*\*\*\*\*

It came for discussion under Unfinished Business, a Certificate of Resubdivision for the property located at 0 Commission Road, Tax Parcel 0611J-01-029.001, submitted by Michael Levens, as follows:

MINUTES OF APRIL 23, 2026  
REGULAR MEETING  
LONG BEACH PLANNING and DEVELOPMENT COMMISSION



CITY OF LONG BEACH  
PLANNING DEPARTMENT  
201 JEFF DAVIS AVENUE  
PO BOX 929  
LONG BEACH, MS 39560  
(228) 863-1554  
(228) 863-1558 FAX

Office use only  
Date Received 2-17-26  
Zoning R-1  
Agenda Date 4-9-26  
Check Number 1104

APPLICATION FOR CERTIFICATE OF RESUBDIVISION

- I. TYPE OF CASE: CERTIFICATE OF RESUBDIVISION
- II. ADVALOREM TAX PARCEL NUMBER(S): 0611J-01-029.001
- III. GENERAL LOCATION OF PROPERTY INVOLVED: Commission Rd
- IV. ADDRESS OF PROPERTY INVOLVED: 0 Commission Rd
- V. GENERAL DESCRIPTION OF REQUEST: Resubdivision of Parcel A (1.22 acres)  
Into 2 lots, Parcel 1 (.66 acres) + Parcel 2 (.56 acres)
- VI. REQUIRED ATTACHMENTS:
  - A. Resubdivision Survey and Certificate (see attached example) on no less than 11" X 17" paper.
  - B. Cash or check payable to the City of Long Beach in the amount of \$375.00
  - C. Proof of ownership (copy of recorded warranty deed) if applicable proof of authority to act as agent for owner.

**\*\*\*NOTE\*\*\* APPLICATION WILL NOT BE ACCEPTED WITHOUT THE ABOVE LISTED DOCUMENTS.**

VII. OWNERSHIP AND CERTIFICATION:

**READ BEFORE EXECUTING**, the applicant acknowledges that, in signing this application, all conditions and requirements inherent in the process have been fully explained and understood, including the timetable for processing the application, the completed application with all necessary documents and payments must be returned to the Planning office not later than fifteen (15) days before the 2<sup>nd</sup> or 4<sup>th</sup> Thursday of each month. Receipt of fee(s) does not constitute receipt of a completed application.

**Ownership:** I the undersigned do hereby agree to all the rules and regulations as set forth in the Long Beach Zoning Ordinance and agree to pay all fees and charges as stated.

Michael Lewis  
Name of Rightful Owner (PRINT)

\_\_\_\_\_  
Name of Agent (PRINT)

18564 Ray Rd  
Owner's Mailing Address

\_\_\_\_\_  
Agent's Mailing Address

Long Beach, MS 39560  
City State Zip

\_\_\_\_\_  
City State Zip

228-669-4814  
Phone

\_\_\_\_\_  
Phone

[Signature] 2/10/26  
Signature of Rightful Owner Date

\_\_\_\_\_  
Signature of Applicant Date

MINUTES OF APRIL 23, 2026  
REGULAR MEETING  
LONG BEACH PLANNING and DEVELOPMENT COMMISSION



1st Judicial District  
Instrument 2020 2897 0 - J I  
Filed/Recorded: 3/15/2020 12:15:44  
Total Fees \$ 26.10  
# Pages Recorded 2



[Space Above This Line For Recording Data]

Prepared by and Return to:  
Patrick A. Sheehan  
Sheehan & Ramsey, PLLC  
429 Porter Avenue  
Ocean Springs, MS 39564  
(228) 875-0572

Grantor:  
Bruce Wayne Cuevas, Trustee  
20731 N 62 Drive  
Glendale, AZ 85308  
(602) 291 6464

Grantee:  
Michael Paul Levens and  
Briana Christine Levens  
20093 Lovers Lane  
Long Beach, MS 39568  
(228) 669-8814

INDEXING INSTRUCTIONS  
STATE OF MISSISSIPPI  
COUNTY OF HARRISON

WARRANTY DEED

FOR AND IN CONSIDERATION of the sum of TEN AND NO/100's (\$10.00) DOLLARS, cash in hand paid, and other good and valuable consideration, the receipt of which is hereby acknowledged, BRUCE WAYNE CUEVAS, as Trustee of the BRUCE WAYNE CUEVAS TRUST n/a dated 7/9/98, n/a BRUCE WAYNE CUEVAS LIVING TRUST (Grantor) does hereby sell, convey, bargain and warrant to MICHAEL PAUL LEVENS and BRIANA CHRISTINE LEVENS, tenants by the entirety with full rights of survivorship (Grantees) the following described real property situated and located in Harrison County, First Judicial District, Mississippi, more particularly and certainly described as follows:

SEE ATTACHED EXHIBIT "A"

This conveyance is subject to any prior reservation or conveyance of oil, gas or other mineral rights and subject to all easements, restrictions, reservations and covenants of record.

Ad Valorem taxes for the year 2020 have been prorated between the parties herein and the obligation to pay same is assumed by the Grantees herein, who will pay same when due

WITNESS this my signature this the 26 day of February, 2020.

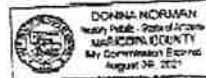
BRUCE WAYNE CUEVAS, Trustee  
Of the Bruce Wayne Cuevas Trust n/a  
7/9/98 n/a BRUCE WAYNE CUEVAS  
LIVING TRUST

STATE OF ARIZONA  
COUNTY OF MARICOPA

On February 26, 2020, before me DONNA NORMAN, a Notary Public, personally appeared BRUCE WAYNE CUEVAS, who proved to me on the basis of satisfactory evidence to be the person whose name is subscribed to the within instrument and acknowledged to me that he executed the same in his authorized capacity, and that by his signature on the instrument the person, or the entity upon behalf of which the person acted, executed the instrument.

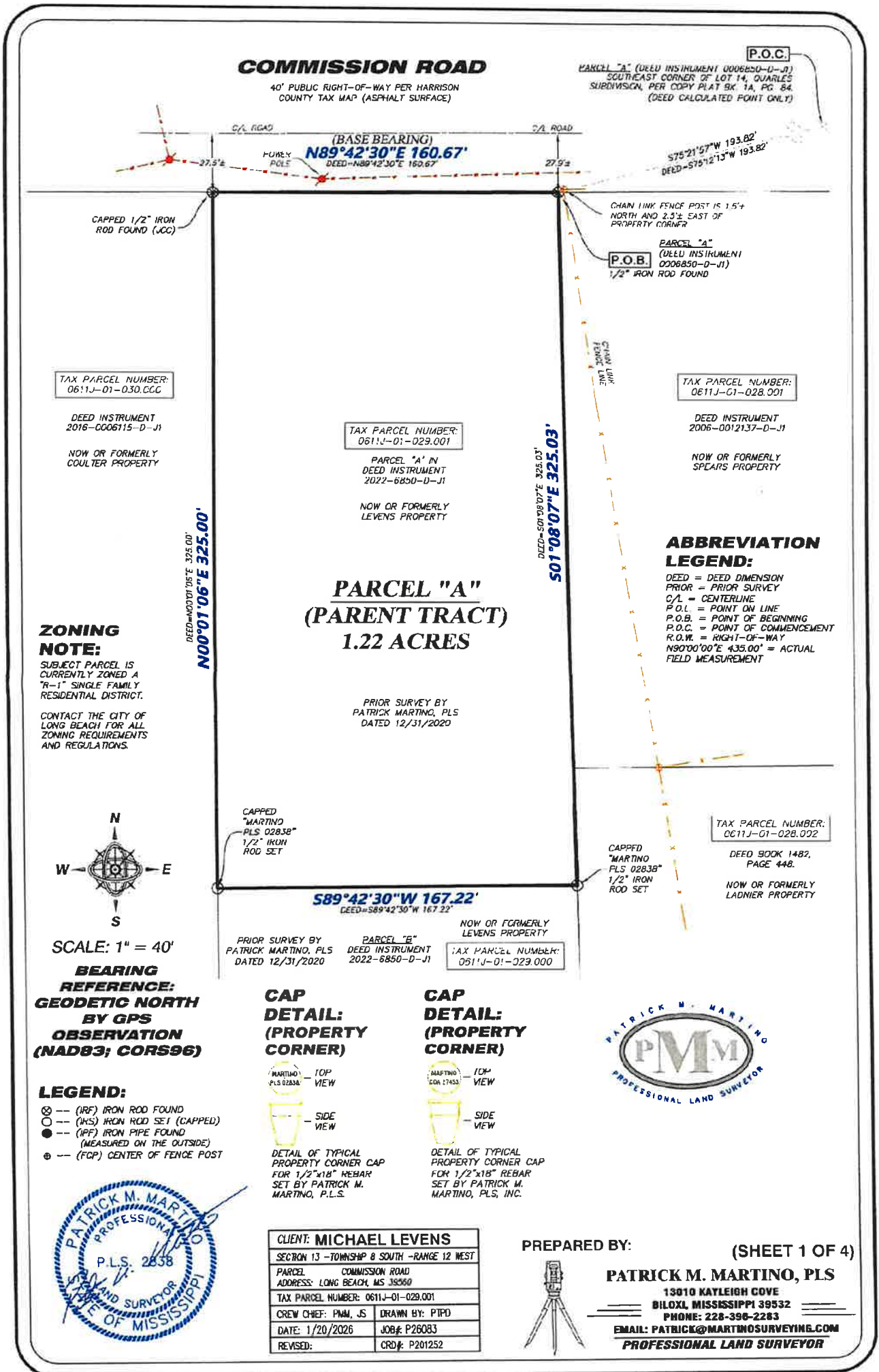
SWORN TO AND SUBSCRIBED before me this the 26 day of February, 2020

NOTARY PUBLIC

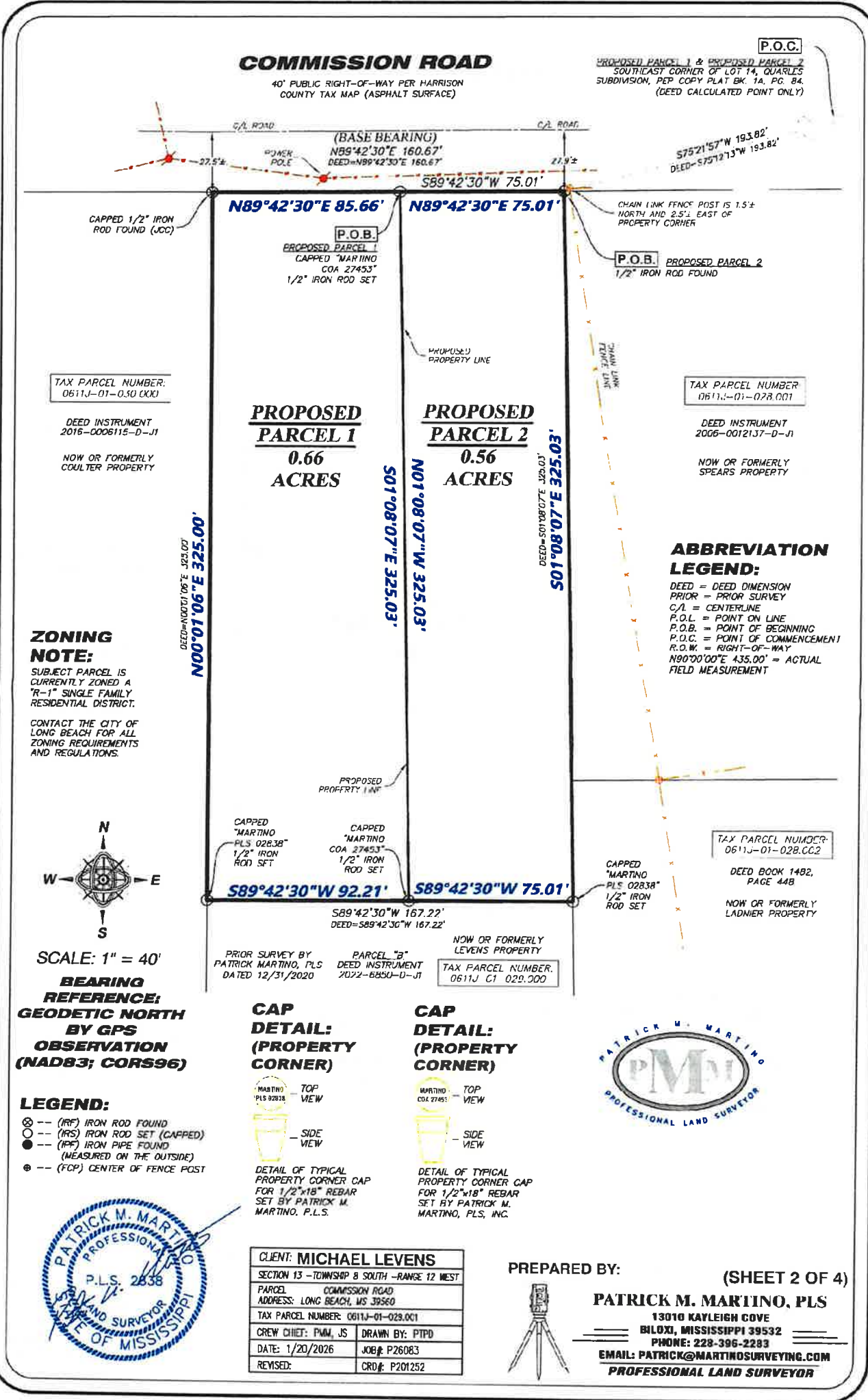


August 9, 2021  
My Commission Expires:

**MINUTES OF APRIL 23, 2026  
REGULAR MEETING  
LONG BEACH PLANNING and DEVELOPMENT COMMISSION**



**MINUTES OF APRIL 23, 2026  
REGULAR MEETING  
LONG BEACH PLANNING and DEVELOPMENT COMMISSION**



MINUTES OF APRIL 23, 2026  
REGULAR MEETING  
LONG BEACH PLANNING and DEVELOPMENT COMMISSION

DEED DESCRIPTION: PARENT TRACT

(AS PER SURVEY DIMENSIONS & PARCEL "A" OF DEED INSTRUMENT 2022-0006850-D-J2)

A PARCEL OF LAND SITUATED IN GOVERNMENT LOT 4, SECTION 13, TOWNSHIP 8 SOUTH, RANGE 12 WEST, HARRISON COUNTY, MISSISSIPPI, PER THE MAP AND PLAT ON FILE AND OF RECORD IN THE BUREAU OF LAND MANAGEMENT AND GENERAL LAND OFFICE, DATED SEPTEMBER 30, 1843 (FORMERLY SECTION 12 PER MAP AND PLAT ON FILE AND OF RECORD IN THE BUREAU OF LAND MANAGEMENT AND GENERAL LAND OFFICE, DATED DECEMBER 10, 1829), SAID PARCEL BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:  
COMMENCING AT THE SOUTHEAST CORNER OF LOT 14, QUARLES SUBDIVISION, PER COPY PLAT BOOK 1A, PAGE 84; THENCE S75°21'57"W 193.82 FEET TO A 1/2" IRON ROD FOUND LYING ON THE SOUTH MARGIN OF COMMISSION ROAD, SAID POINT BEING THE POINT OF BEGINNING; THENCE LEAVING THE SOUTH MARGIN OF COMMISSION ROAD, S01°08'07"E 325.03 FEET TO A SET 1/2" IRON ROD WITH CAP STAMPED MARTINO PLS 02838; THENCE S89°42'30"W 167.22 FEET TO A SET 1/2" IRON ROD WITH CAP STAMPED MARTINO PLS 02838, SAID POINT LYING ON THE EAST LINE OF THE PROPERTY NOW OR FORMERLY OF COULTER, PER DEED INSTRUMENT 2016-0006115-D-J1; THENCE ALONG THE EAST LINE OF SAID COULTER PROPERTY, N00°01'08"E 325.00 FEET TO A FOUND 1/2" IRON WITH CAP STAMPED JCC, SAID POINT LYING ON THE SOUTH MARGIN OF COMMISSION ROAD; THENCE ALONG THE SOUTH MARGIN OF COMMISSION ROAD, N89°42'30"E 160.67 FEET TO THE POINT OF BEGINNING. SAID PARCEL CONTAINS 1.22 ACRES, MORE OR LESS. REFERENCE MERIDIAN FOR BEARINGS ARE BASED ON GEODETIC NORTH BY GPS OBSERVATION (NAD83; CORS96), ALL LINES RELATIVE TO.



LEGAL DESCRIPTION: PROPOSED PARCEL 1 (AS PER SURVEY DIMENSION)

A PARCEL OF LAND SITUATED IN GOVERNMENT LOT 4, SECTION 13, TOWNSHIP 8 SOUTH, RANGE 12 WEST, HARRISON COUNTY, MISSISSIPPI, PER THE MAP AND PLAT ON FILE AND OF RECORD IN THE BUREAU OF LAND MANAGEMENT AND GENERAL LAND OFFICE, DATED SEPTEMBER 30, 1843 (FORMERLY SECTION 12 PER MAP AND PLAT ON FILE AND OF RECORD IN THE BUREAU OF LAND MANAGEMENT AND GENERAL LAND OFFICE, DATED DECEMBER 10, 1829), AS SHOWN ON THE SURVEY PREPARED BY PATRICK M. MARTINO PLS, INC. DATED JANUARY 20, 2026, (REFERENCE MERIDIAN FOR BEARINGS ARE BASED ON GEODETIC NORTH BY GPS OBSERVATION (NAD83; CORS96), ALL LINES RELATIVE THERETO) AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE SOUTHEAST CORNER OF LOT 14, QUARLES SUBDIVISION, PER COPY PLAT BOOK 1A, PAGE 84; THENCE S75°21'57"W 193.82 FEET TO A 1/2" IRON ROD FOUND LYING ON THE SOUTH MARGIN OF COMMISSION ROAD; THENCE ALONG THE SOUTH MARGIN OF COMMISSION ROAD, S89°42'30"W 75.01 FEET TO A SET 1/2" IRON ROD WITH CAP STAMPED "MARTINO COA 27453" AT THE POINT OF BEGINNING; THENCE LEAVING THE SOUTH MARGIN OF COMMISSION ROAD, S01°08'07"E 325.03 FEET TO A SET 1/2" IRON ROD WITH CAP STAMPED "MARTINO COA 27453" LYING ON THE NORTH LINE OF THE PROPERTY NOW OR FORMERLY OF LEVENS, AS DESCRIBED AS PARCEL "B" IN DEED INSTRUMENT 2022-0006850-D-J1; THENCE ALONG THE NORTH LINE OF SAID LEVENS PROPERTY, S89°42'30"W 92.21 FEET TO A SET 1/2" IRON ROD WITH CAP STAMPED "MARTINO PLS 02838" LYING ON THE EAST LINE OF THE PROPERTY NOW OR FORMERLY OF COULTER, AS DESCRIBE IN DEED INSTRUMENT 2016-0006115-D-J1; THENCE ALONG THE EAST LINE OF SAID COULTER PROPERTY, N00°01'08"E 325.00 FEET TO A FOUND 1/2" IRON WITH CAP STAMPED "JCC" LYING ON THE SOUTH MARGIN OF COMMISSION ROAD; THENCE ALONG THE SOUTH MARGIN OF COMMISSION ROAD, N89°42'30"E 85.66 FEET TO THE POINT OF BEGINNING. SAID PARCEL CONTAINS 0.66 ACRES, MORE OR LESS.

LEGAL DESCRIPTION: PROPOSED PARCEL 2 (AS PER SURVEY DIMENSION)

A PARCEL OF LAND SITUATED IN GOVERNMENT LOT 4, SECTION 13, TOWNSHIP 8 SOUTH, RANGE 12 WEST, HARRISON COUNTY, MISSISSIPPI, PER THE MAP AND PLAT ON FILE AND OF RECORD IN THE BUREAU OF LAND MANAGEMENT AND GENERAL LAND OFFICE, DATED SEPTEMBER 30, 1843 (FORMERLY SECTION 12 PER MAP AND PLAT ON FILE AND OF RECORD IN THE BUREAU OF LAND MANAGEMENT AND GENERAL LAND OFFICE, DATED DECEMBER 10, 1829), AS SHOWN ON THE SURVEY PREPARED BY PATRICK M. MARTINO PLS, INC. DATED JANUARY 20, 2026, (REFERENCE MERIDIAN FOR BEARINGS ARE BASED ON GEODETIC NORTH BY GPS OBSERVATION (NAD83; CORS96), ALL LINES RELATIVE THERETO) AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE SOUTHEAST CORNER OF LOT 14, QUARLES SUBDIVISION, PER COPY PLAT BOOK 1A, PAGE 84; THENCE S75°21'57"W 193.82 FEET TO A 1/2" IRON ROD FOUND LYING ON THE SOUTH MARGIN OF COMMISSION ROAD, SAID POINT BEING THE POINT OF BEGINNING; THENCE LEAVING THE SOUTH MARGIN OF COMMISSION ROAD, S01°08'07"E 325.03 FEET TO A SET 1/2" IRON ROD WITH CAP STAMPED "MARTINO PLS 02838" AT THE NORTHEAST CORNER OF THE PROPERTY NOW OR FORMERLY OF LEVENS, AS DESCRIBED AS PARCEL "B" IN DEED INSTRUMENT 2022-0006850-D-J1; THENCE ALONG THE NORTH LINE OF SAID LEVENS PROPERTY, S89°42'30"W 75.01 FEET TO A SET 1/2" IRON ROD WITH CAP STAMPED "MARTINO COA 27453"; THENCE LEAVING THE NORTH LINE OF SAID LEVENS PROPERTY, N01°08'07"W 325.03 FEET TO A SET 1/2" IRON WITH CAP STAMPED "MARTINO COA 27453" LYING ON THE SOUTH MARGIN OF COMMISSION ROAD; THENCE ALONG THE SOUTH MARGIN OF COMMISSION ROAD, N89°42'30"E 75.01 FEET TO THE POINT OF BEGINNING. SAID PARCEL CONTAINS 0.56 ACRES, MORE OR LESS.

REFERENCE MATERIALS:

- 1.) HARRISON COUNTY GIS WEBSITE AND TAX MAP, CURRENT EDITION
- 2.) CITY OF LONG BEACH ZONING MAP, CURRENT EDITION
- 3.) INFORMATION PROVIDED BY CLIENT
- 4.) DEED INSTRUMENT 2016-0006987-D-J1
- 5.) DEED BOOK 1456 AT PAGE 546
- 6.) DEED INSTRUMENT 2016-0005495-D-J1
- 7.) DEED BOOK 1456 AT PAGE 549
- 8.) DEED BOOK 1482 AT PAGE 448
- 9.) DEED INSTRUMENT 2017-0001262-D-J1
- 10.) DEED INSTRUMENT 2016-0006115-D-J1
- 11.) DEED INSTRUMENT 2017-0001263-D-J1
- 12.) DEED INSTRUMENT 2008-0006760-D-J1
- 13.) DEED INSTRUMENT 2022-0006850-D-J1
- 14.) PRIOR SURVEY BY PATRICK MARTINO, PLS, DATED 12/31/2020.

BOUNDARY NOTE:

BOUNDARY SURVEYS ARE BASED UPON THE RECORDED SUBDIVISION PLAT IN CASES OF REGULAR SUBDIVISIONS LOTS. BOUNDARY SURVEYS OF PROPERTIES NOT A PART OF A REGULAR SUBDIVISION ARE BASED UPON TITLE INFORMATION PROVIDED BY THE PARTY REQUESTING THE SURVEY. BOUNDARY SURVEY PLATS REFLECT INFORMATION DISCOVERED BY THE SURVEYOR IN THE NORMAL COURSE OF WORK AND DOES NOT NECESSARILY SHOW EVERY POSSIBLE CONDITION AFFECTING THE PROPERTY. EASEMENTS, SERVITUDES, BUILDING ORDINANCES, ZONING, AND OTHER LEGAL ENCUMBERMENTS MAY EXIST. CONSULT A TITLE ATTORNEY IF YOU WSH TO DISCOVER ALL THE LEGAL ENCUMBERMENTS ATTACHED TO ANY PROPERTY.

THIS IS TO CERTIFY THAT I HAVE MADE A SURVEY OF THE PROPERTY SHOWN HEREON AND THAT ALL DIMENSIONS AND OTHER DATA SHOWN ARE TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.

*Patrick M. Martino*  
PATRICK M. MARTINO, P.L.S.

1/19/2026  
DATE OF FIELD SURVEY



(SHEET 3 OF 4)

NOTES:

- 1.) THIS SURVEY AND PLAT WERE PREPARED ONLY FOR THE CLIENT NAMED HEREON AND NO THIRD PARTY CERTIFICATION IS EXPRESSED OR IMPLIED.
- 2.) A COPY OF THIS PLAT IS VALID ONLY IF IT IS COMPLETE AND INTACT, HAS AN ORIGINAL SIGNATURE AND DATE, AND HAS THE ORIGINAL EMBOSSED OR COLORED (NOT BLACK) STAMPED SURVEYOR'S SEAL.
- 3.) THIS SURVEY IS SUBJECT TO ALL APPLICABLE GOVERNMENTAL REGULATIONS, BUILDING OR OTHER RESTRICTIONS, LEGAL RESTRICTIONS OF ANY NATURE AND FURTHER SUBJECT TO ANY AND ALL EASEMENTS, RESTRICTIVE COVENANTS, AND RIGHTS-OF-WAY OF RECORD.
- 4.) REVISION OF THIS PROPERTY IS SUBJECT TO CURRENT SUBDIVISION AND ZONING REGULATIONS AND ET CETERA APPROVAL NEEDS TO BE OBTAINED FROM THE APPROPRIATE GOVERNING BODIES.

THIS SURVEY WAS PREPARED FROM INFORMATION PROVIDED BY CLIENT, WITHOUT THE BENEFIT OF A CURRENT TITLE REPORT OR AN ENVIRONMENTAL STUDY. NO FLOOD ZONE DETERMINATION WAS PERFORMED AS A PART OF THIS SURVEY. AN ACCURATE DETERMINATION CAN BE MADE BY ORDERING A FEMA ELEVATION CERTIFICATE.

CLIENT: <b>MICHAEL LEVENS</b>	SURVEY CLASS "B" SCALE: 1"=40'	BEARINGS SHOWN HEREON ARE DERIVED BY: GEODETIC NORTH BY GPS OBSERVATION (NAD83; CORS96); ALL LINES RELATIVE THERETO.
PARCEL: COMMISSION ROAD ADDRESS: LONG BEACH, MS 39560		<b>PATRICK M. MARTINO, PLS</b> 13010 KAYLEIGH COVE BILOXI, MISSISSIPPI 39532 PHONE: 228-396-2283 EMAIL: PATRICK@MARTINOSURVEYING.COM PROFESSIONAL LAND SURVEYOR
SECTION 13 - TOWNSHIP 8 SOUTH - RANGE 12 WEST TAX PARCEL NUMBER: 0611J-01-029.001		
CREW CHIEF: P.M., JS DATE: 1/20/2026	DRAWN BY: PTPD JOB#: P26083	
REVISED:	CRD#: P201252	

**MINUTES OF APRIL 23, 2026  
REGULAR MEETING  
LONG BEACH PLANNING and DEVELOPMENT COMMISSION**

**CERTIFICATE OF RESUBDIVISION**

IN ACCORDANCE WITH ARTICLE II, SECTION 3 OF THE CODE OF ORDINANCE (SUBDIVISION REGULATIONS) OF THE CITY OF LONG BEACH AS AMENDED, IT IS HEREBY CERTIFIED THAT THE LONG BEACH PLANNING COMMISSION CHAIRMAN AND LONG BEACH MAYOR AND BOARD OF ALDERMEN HAVE REVIEWED AND APPROVED THE ATTACHED FINAL PLAT. THE FOLLOWING PROPERTY HAS BEEN SUBDIVIDED FROM HARRISON COUNTY AD VALOREM TAX PARCEL # (0611J-01-029.001) INTO TWO (2) NEW PARCELS. THE SUBJECT PROPERTY IS GENERALLY DESCRIBED AS BEING BOUNDED ON THE SOUTH BY THE PROPERTY NOW OR FORMERLY OF LEVENS, BOUNDED ON THE WEST BY THE PROPERTY NOW OR FORMERLY OF COULTER, BOUNDED ON THE NORTH BY COMMISSION ROAD, AND BOUNDED ON THE EAST BY THE PROPERTIES NOW OR FORMERLY OF SPEARS AND LADNIER.

**CERTIFICATE OF OWNERSHIP**

I, HEREBY, CERTIFY THAT I AM THE OWNER OF THE PROPERTY DESCRIBED HEREON, WHICH PROPERTY IS WITHIN THE SUBDIVISION REGULATION JURISDICTION OF THE CITY OF LONG BEACH, AND THAT I FREELY ADOPT THIS PLAN OF SUBDIVISION.

WITNESS MY SIGNATURE ON THIS 10 DAY OF February 2026.

BY: [Signature]  
OWNER

SUBSCRIBED AND SWORN TO BEFORE ME, IN MY PRESENCE THIS 10

DAY OF Feb, 2026, A NOTARY PUBLIC IN AND FOR THE COUNTY OF HARRISON, STATE OF MISSISSIPPI.



[Signature]  
NOTARY PUBLIC

MY COMMISSION EXPIRES: March 10, 2028

**CERTIFICATE OF SURVEY AND ACCURACY**

I, HEREBY, CERTIFY THAT THIS MAP DRAWN BY ME OR DRAWN UNDER MY SUPERVISION FROM ACTUAL SURVEY MADE BY ME OR ACTUAL SURVEY MADE UNDER MY SUPERVISION AND

A DEED DESCRIPTION RECORDED IN BOOK 2022-6855-D-37

PAGE 1/1 IN ACCORDANCE WITH ALL APPLICABLE CODES AND ORDINANCES. WITNESS MY ORIGINAL SIGNATURE, REGISTRATION NUMBER AND

SEAL THIS THE 30 DAY OF January 2026.



[Signature]  
PATRICK M. MARTINO, PROFESSIONAL LAND SURVEYOR

02838  
REGISTRATION NUMBER



SUBSCRIBED AND SWORN TO BEFORE ME, IN MY PRESENCE THIS 30<sup>th</sup>

DAY OF Jan, 2026, A NOTARY PUBLIC IN AND FOR THE COUNTY OF HARRISON, STATE OF MISSISSIPPI.



[Signature]  
NOTARY PUBLIC

MY COMMISSION EXPIRES: 7/15/2026

**CERTIFICATE OF APPROVAL**

I, HEREBY, CERTIFY THAT THE MINOR SUBDIVISION SHOWN ON THIS PLAT DOES NOT INVOLVE THE CREATION OF NEW PUBLIC STREETS, OR ANY CHANGE IN EXISTING PUBLIC STREETS, THE EXTENSION OF PUBLIC WATER OR SEWER SYSTEM OR THE INSTALLATION OF DRAINAGE IMPROVEMENTS THROUGH ONE OR MORE LOTS TO SERVE ONE OR MORE LOTS. THAT THE SUBDIVISION SHOWN IS IN ALL RESPECTS IN COMPLIANCE WITH THE CITY ORDINANCES OF LONG BEACH AND THAT THEREFORE THIS PLAT HAS BEEN APPROVED BY THE ADMINISTRATOR SUBJECT TO ITS BEING RECORDED IN THE HARRISON COUNTY COURTHOUSE WITHIN (60) DAYS OF THE DATE BELOW.

ADMINISTRATOR \_\_\_\_\_ DATE \_\_\_\_\_

**PLANNING COMMISSION**

APPROVED BY THE CITY OF LONG BEACH PLANNING COMMISSION AT THE REGULAR

MEETING OF SAID COMMISSION HELD ON THE \_\_\_\_\_ DAY OF \_\_\_\_\_, 2026.

BY: \_\_\_\_\_  
PLANNING COMMISSION CHAIRMAN DATE \_\_\_\_\_

**ACCEPTANCE**

SUBMITTED TO AND APPROVED BY THE CITY OF LONG BEACH, BOARD OF


ALDERMEN, AT THE REGULAR MEETING OF SAID BOARD OF ALDERMEN HELD

ON THE \_\_\_\_\_ DAY OF \_\_\_\_\_, 2026.

ADOPT: \_\_\_\_\_ ATTEST: \_\_\_\_\_

MAYOR \_\_\_\_\_ CITY CLERK \_\_\_\_\_

(SHEET 4 OF 4)

THIS SURVEY WAS PREPARED FROM INFORMATION PROVIDED BY CLIENT, WITHOUT THE BENEFIT OF A CURRENT TITLE REPORT OR AN ENVIRONMENTAL STUDY.		NO FLOOD ZONE DETERMINATION WAS PERFORMED AS A PART OF THIS SURVEY. AN ACCURATE DETERMINATION CAN BE MADE BY ORDERING A FEMA ELEVATION CERTIFICATE.	
CLIENT: <b>MICHAEL LEVENS</b>	SURVEY CLASS "B"	BEARINGS SHOWN HEREON ARE DERIVED BY: GEODETTIC NORTH BY GPS OBSERVATION (NAD83, CORS96); ALL LINES RELATIVE THERETO.	
PARCEL ADDRESS: COMMISSION ROAD LONG BEACH, MS 39560	SCALE: 1"=40'	 <p><b>PATRICK M. MARTINO, PLS</b> 13010 KAYLEIGH COVE BILOXI, MISSISSIPPI 39532 PHONE: 228-396-2283 EMAIL: PATRICK@MARTINOSURVEYING.COM PROFESSIONAL LAND SURVEYOR</p>	
SECTION 13 - TOWNSHIP 8 SOUTH - RANGE 12 WEST			
TAX PARCEL NUMBER: 0611J-01-029.001			
CRFW CHIEF: P.M.M. JS DRAWN BY: PTPD			
DATE: 1/20/2026	JOB#: P26083		
REVISED:	CHK#: P201252		

**MINUTES OF APRIL 23, 2026  
REGULAR MEETING  
LONG BEACH PLANNING and DEVELOPMENT COMMISSION**

Special Tap Fee: Commission Rd				
PARCEL # - 0611J-01-029.001				
Date: 2-24-2026				
SEWER AND WATER TAPS				
<b>MATERIALS:</b>				
QTY.		ITEM	PRICE	TOTAL
1	EA	1" CTS Curb Stop	\$89.90	\$89.90
1	EA	6x1 Tapping Saddle	\$39.45	\$39.45
1	EA	1" Corp Stop	\$55.50	\$55.50
20	FT	1" Roll Tubing	\$0.48	\$9.60
1	EA	Meter Box	\$80.00	\$80.00
20	FT	6" Sewer Pipe	\$5.74	\$114.80
1	EA	8x6 Tapping Saddle	\$50.47	\$50.47
1	EA	6x6x6 Cleanout	\$44.88	\$44.88
2	EA	6" Cap	\$13.72	\$27.44
2	TON	Limestone	\$41.50	\$83.00
1	EA	Traffic Control	\$500.00	\$500.00
1	EA	Asphalt	\$400.00	\$400.00
TOTAL MATERIAL COST				<u>\$1,495.04</u>
<b>EQUIPMENT:</b>				
QTY.		ITEM	PRICE	TOTAL
8	HRS	161-TRACK HOE	\$57.14	\$457.12
8	HRS	DUMP TRUCK/ Trailer	\$68.89	\$551.12
16	HRS	CREW TRUCK	\$34.59	\$553.44
16	HRS	WELLPOINT MACHINE	\$50.00	\$800.00
2	HRS	ASPHALT TRAILER	\$35.00	\$70.00
2	HRS	161-TRACK HOE	\$57.14	\$114.28
2	HRS	DUMP TRUCK/ Trailer	\$68.89	\$137.78
2	HRS	CREW TRUCK	\$34.59	\$69.18
TOTAL EQUIPMENT COST				<u>\$2,752.92</u>
<b>LABOR:</b>				
LABOR				TOTAL
				<u>\$2,116.92</u>
TOTAL LABOR COST				\$2,116.92
<b>FUEL:</b>				
				TOTAL
TOTAL MATERIAL COST				\$1,495.04
TOTAL EQUIPMENT COST				\$2,752.92
TOTAL LABOR COST				\$2,116.92
TOTAL				<u>\$6,364.88</u>
15% FUEL COST				\$954.73
<b>PLEASE REMIT MATERIAL AND EQUIPMENT COST TO:</b>				<u>\$4,247.96</u>
City of Long Beach				
P.O. Box 591				
Long Beach, MS 39560				
<b>PLEASE REMIT LABOR &amp; FUEL COST TO:</b>				<u>\$3,071.65</u>
H2O Innovation				
P.O. Box 591				
Long Beach, MS 39560				
TOTAL WATER TAP FEE COST				<b>\$7,319.61</b>

**MINUTES OF APRIL 23, 2026  
REGULAR MEETING  
LONG BEACH PLANNING and DEVELOPMENT COMMISSION**



**OVERSTREET  
& ASSOCIATES**  
CONSULTING ENGINEERS

**overstreeteng.com**  
161 Lameuse St. Suite 203  
Biloxi, MS 39530  
228.967.7137

February 20, 2026

City of Long Beach  
P.O. Box 929  
Long Beach, MS 39560

**RE: Certificate of Subdivision – Tax Parcel No. 0611J-01-029.001**

Ladies and Gentlemen:

We have received a Certificate of Subdivision for the referenced property, described as a parcel of land located within the City of Long Beach, Mississippi, off Commission Road. The submitted subdivision proposes to subdivide one existing parcel into two parcels. Proposed parcel "1" will be nearly 0.66 acres in size, with approx. 85 feet of street frontage on Commission Road. Proposed parcel "2" will be nearly 0.56 acres in size, with approx. 75 feet of street frontage on Commission Road.

The Certificate itself has all appropriate certifications and information. If approval is granted, acceptance of the subdivision should be subject to the payment of any required tapping fees or special connection fees as determined by the City's Public Works department.

Sincerely,

  
Tyler Yarbrough

**MINUTES OF APRIL 23, 2026  
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After considerable discussion and upon recommendation made by the City of Long Beach Engineer, Commissioner Suthoff made motion, seconded by Vice Chairman Sterling and unanimously carried to approve the application as submitted.

\*\*\*\*\*

It came for discussion under Unfinished Business, a Preliminary Plat Approval for the property located at 20583 Johnson Road, Compass Cove Subdivision, Tax Parcel 0512B-01-029.000, submitted by Timothy Deas, Deas Homes, as follows:

**MINUTES OF APRIL 23, 2026  
REGULAR MEETING  
LONG BEACH PLANNING and DEVELOPMENT COMMISSION**



CITY OF LONG BEACH  
201 Jeff Davis Avenue  
PO BOX 929  
LONG BEACH, MS 39560  
(228) 863-1554 office  
(228) 863-1558 fax

Office use only  
Date Received 3/4/26  
Zoning R-1  
Agenda Date 4/9/26  
Check Number 1691

- I. TYPE OF CASE: PRELIMINARY PLAT APPROVAL
- II. ADVALOREM TAX PARCEL NUMBER(S) #0512B-01-029.000
- III. GENERAL LOCATION OF PROPERTY INVOLVED JOHNSON RD EAST
- IV. ADDRESS OF PROPERTY INVOLVED 20583 JOHNSON RD
- V. GENERAL DESCRIPTION OF REQUEST Subdivision of 7 HOUSES TO BE BUILT  
Into COMPASS COVE

- VI. REQUIRED ATTACHMENTS:
  - A. Twenty (20) working days prior to the regular monthly meeting of the planning commission the following documents must be submitted.
    - a. Three (3) full-size blue-line copies of the preliminary plat,
    - b. Two (2) blue-line copies of the complete construction plans and specification,
    - c. Two (2) copies of the developer's engineer's basis of design and complete design calculation, and
    - d. Two (2) copies of the preliminary plat application forms
    - e. The proposed plat shall be at a scale legible and functional on sheets of twenty-four (24) by thirty-six (36) inches in size. **\*\*Please refer to the City of Long Beach's Subdivision Regulations for additional information to be included on the plat.**

B. Cash or Check payable to the City of Long Beach in the amount as follows

2-3	Lots	\$100.00
4-10	Lots	\$150.00
11-50	Lots	\$300.00
50-100	Lots	\$400.00
100 +	Lots	\$500.00

C. Proof of ownership (copy of recorded warranty deed), if applicable proof of authority to act as agent for owner.

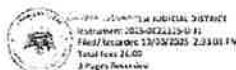
**\*\*\*NOTE\*\*\* APPLICATION WILL NOT BE ACCEPTED WITHOUT THE ABOVE LISTED DOCUMENTS.**

VII. **OWNERSHIP AND CERTIFICATION:**  
**READ BEFORE EXECUTING.** the applicant acknowledges that, in signing this application, all conditions and requirements inherent in the process have been fully explained and understood, including the timetable for processing the application, the completed application with all necessary documents and payments must be returned to the Planning office not later than twenty (20) days before the 2<sup>nd</sup> or 4<sup>th</sup> Thursday of each month. Receipt of fee(s) does not constitute receipt of a completed application

**Ownership:** I the undersigned do hereby agree to all the rules and regulations as set forth in the Long Beach Zoning Ordinance and agree to pay all fees and charges as stated

<p><u>Timothy DEAS (DEAS Homes)</u> Name of Rightful Owner (PRINT)</p> <p><u>5 Po Box 309</u> Owner's Mailing Address</p> <p><u>LONG BEACH MS 39560</u> City State Zip</p> <p><u>228 424-5265</u> Phone</p> <p><u>DEAS HOMES CO @ gmail.com</u> Email address</p> <p><u>[Signature]</u> <u>MARCH 4, 2026</u> Signature of Rightful Owner Date</p>	<p><u>[Signature]</u> Name of Agent (PRINT)</p> <p><u>[Signature]</u> Agent's Mailing Address</p> <p><u>[Signature]</u> City State Zip</p> <p><u>[Signature]</u> Phone</p> <p><u>[Signature]</u> Email address</p> <p><u>[Signature]</u> Signature of Applicant Date</p>
---	--

# MINUTES OF APRIL 23, 2026 REGULAR MEETING LONG BEACH PLANNING and DEVELOPMENT COMMISSION



Prepared By and Return To:  
Schwartz, Ogler & Jordan, PLLC  
12206 Hwy 49  
Gulfport, MS 39503  
(228) 832-8550

File No: 251248

Indexing Instructions:  
Part of Lot 8, R. Inglis S/D in Part of  
the SW 1/4 of the SW 1/4, Section  
15, T8S, R12W, Harrison County,  
1<sup>st</sup> JD, MS

STATE OF MISSISSIPPI  
COUNTY OF HARRISON  
FIRST JUDICIAL DISTRICT

### WARRANTY DEED

THIS DEED IS IN CONSIDERATION of the sum of Ten and no/100 Dollars (\$10.00), cash in hand paid, and other good and valuable consideration, the receipt and sufficiency of all of which is hereby acknowledged,

**FRANKLIN JASON OVERSTREET**, a married man  
161 LAMFEL SP STREET, SUITE 203  
BILOXI, MS 39530  
(228) 669 9262

does hereby grant, bargain, sell, convey and warrant unto

**TIMOTHY BIGAN DEAS**  
17245 DODD LIZANS ROAD  
GULFPORT, MS 39503  
(228) 424-5265

the following described property, together with the improvements, hereditaments and appurtenances thereon to be situated and located in the County of Harrison, State of Mississippi and more particularly described as follows, to-wit:

### ATTACHED HERETO AS EXHIBIT "A"

The Grantor hereby covenants that the property described herein does not constitute as a part of his homestead, nor is it contiguous thereto.

THIS CONVEYANCE is subject to, and all recorded covenants, easements, rights-of-way and easements applicable to subject property, and any prior recorded reservations, conveyances and leases of oil, gas and minerals by previous owners of subject property.

Estimated amount of ad valorem taxes have been prorated between the parties as a part of the consideration for this conveyance. In the event the estimate upon which such proration is based

proves to be inaccurate for any reason, the Grantee agrees to refund any excess, and the Grantor agrees to pay any deficiency, upon receipt of a copy of the tax statement for the current year and a computation of the tax amount due, based on a 365 day year.

THIS CONVEYANCE is also subject to Zoning and/or other land use regulations promulgated by federal, state or local government affecting the use or occupancy of the subject property.

WITNESS THE SIGNATURE of the Grantor on this the 15th day of October, 2025.

FRANKLIN JASON OVERSTREET

STATE OF MISSISSIPPI  
COUNTY OF HARRISON

THIS DAY personally appeared before me, the undersigned authority in and for the jurisdiction aforesaid, FRANKLIN JASON OVERSTREET, a married man, who acknowledged that he signed, executed and delivered the above and foregoing instrument as his voluntary act and deed in the day and year therein mentioned.

GIVEN under my hand and official seal on this the 15th day of October, 2025.

C. S. E. A. L.  
My Commission Expires



NOTARY PUBLIC

### EXHIBIT "A" LEGAL DESCRIPTION

A parcel of land located in a part of the R. INGLIS'S SUBDIVISION in the Northwest Quarter (NW 1/4) of Section 15, Township 8 South, Range 12 West, Long Beach, Harrison County, Mississippi, being more particularly described as follows:

Beginning at a point where the half-section line of said Section 15 intersects the East margin of Beatline Road and run thence East along said half-section line a distance of 580.2 feet to an old fence line; run thence North 1 degree 30 minutes West along said fence line, a distance of 987.5 feet to the point of beginning; thence North 1 degree West a distance of 1394.5 feet to the South margin of a portion of Beatline Road; thence West along said portion of Beatline Road a distance of 8250 feet; thence South 8 degrees 45 minutes East a distance of 533.6 feet; thence South 89 degrees 45 minutes East a distance of 277.5 feet back to the Point of Beginning. Containing 2.5 acres, more or less.

Tax Parcel Number: 0312B-01-029-000

Return to:  
Schwartz, Ogler & Jordan, PLLC  
12206 Hwy 49  
Gulfport, MS 39503  
(228) 832-8550  
Our File: 251248

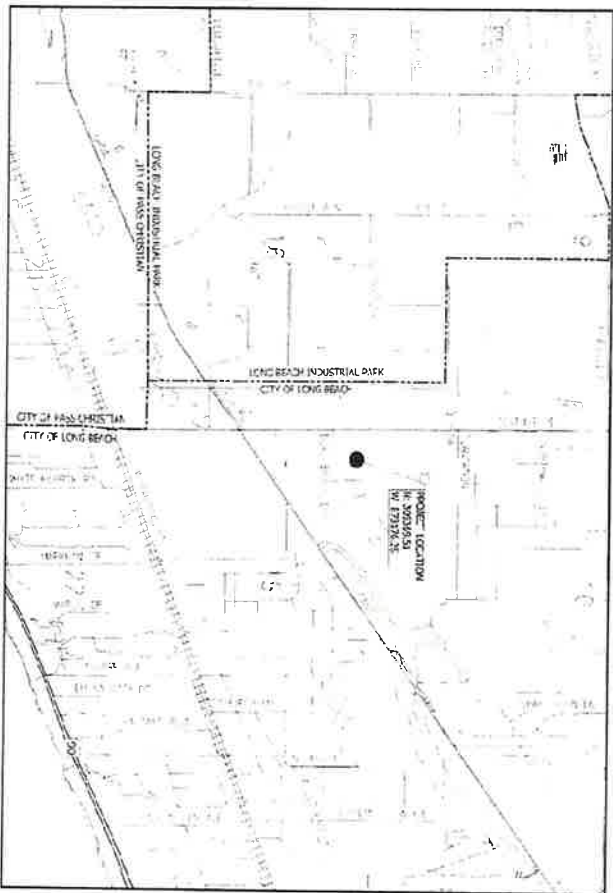
**MINUTES OF APRIL 23, 2026  
REGULAR MEETING  
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CONSTRUCTION DRAWINGS  
FOR THE

# COMPASS COVE SUBDIVISION

LONG BEACH, MISSISSIPPI  
PARCEL ID #: 0512B-01-029.000

PREPARED FOR  
**DEAS HOMES CO**



**SHEET INDEX**

00.00	COVER SHEET & INDEX
01.00	GENERAL NOTES
02.00	EXISTING SITE / DEMO PLAN
03.00	LOT LAYOUT & TYPICAL ROAD SECTION
04.00	PROPOSED GRADING, DRAINAGE AND UTILITY PLAN & PROFILE
05.00	SWAMP FLAND
06.00	GENERAL CIVIL DETAILS
07.00	GENERAL CIVIL DETAILS
08.00	GENERAL CIVIL DETAILS
09.00	GENERAL CIVIL DETAILS
10.00	GENERAL CIVIL DETAILS
11.00	GENERAL CIVIL DETAILS
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46.00	GENERAL CIVIL DETAILS
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49.00	GENERAL CIVIL DETAILS
50.00	GENERAL CIVIL DETAILS

*Gulf Coast*  
**Design Solutions, LLC.**

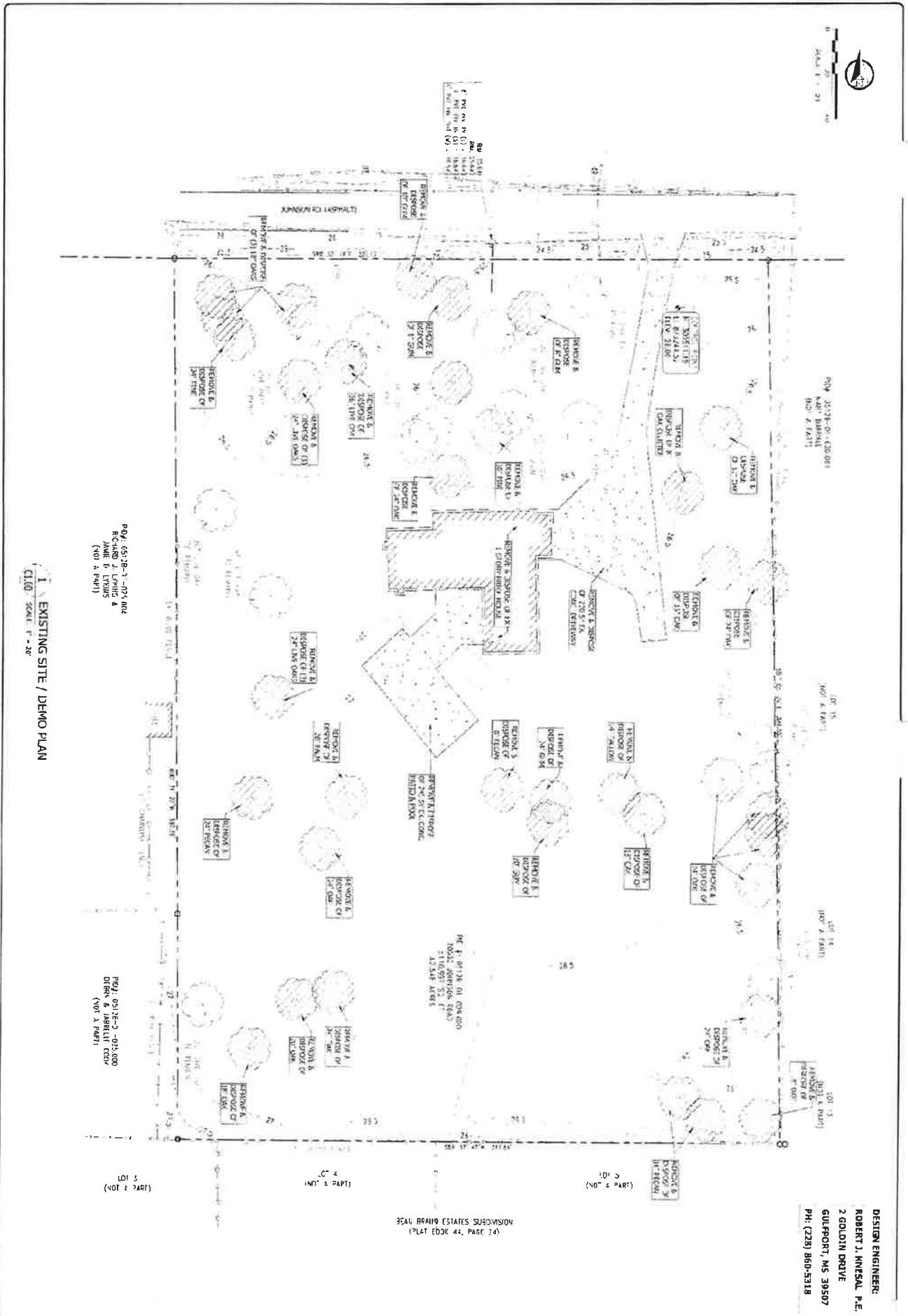
**DESIGN ENGINEER:**  
ROBERT J. KRESAL, P.E.  
2 GOLDWIN DRIVE  
GULFPORT, MS 39507  
PH: (228) 860-5318

PROJ. CT. NO. 225-014

04-14-26

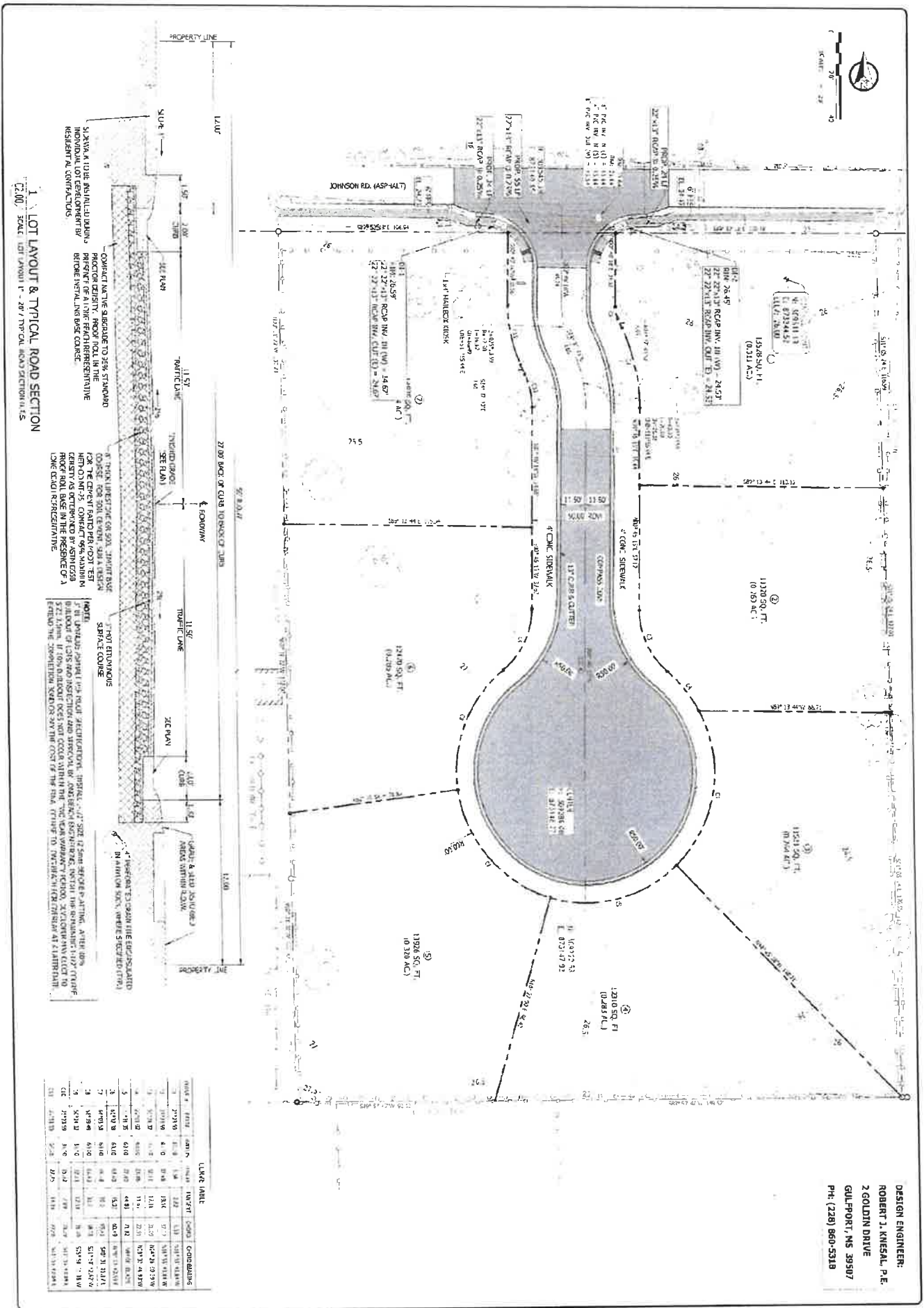


**MINUTES OF APRIL 23, 2026  
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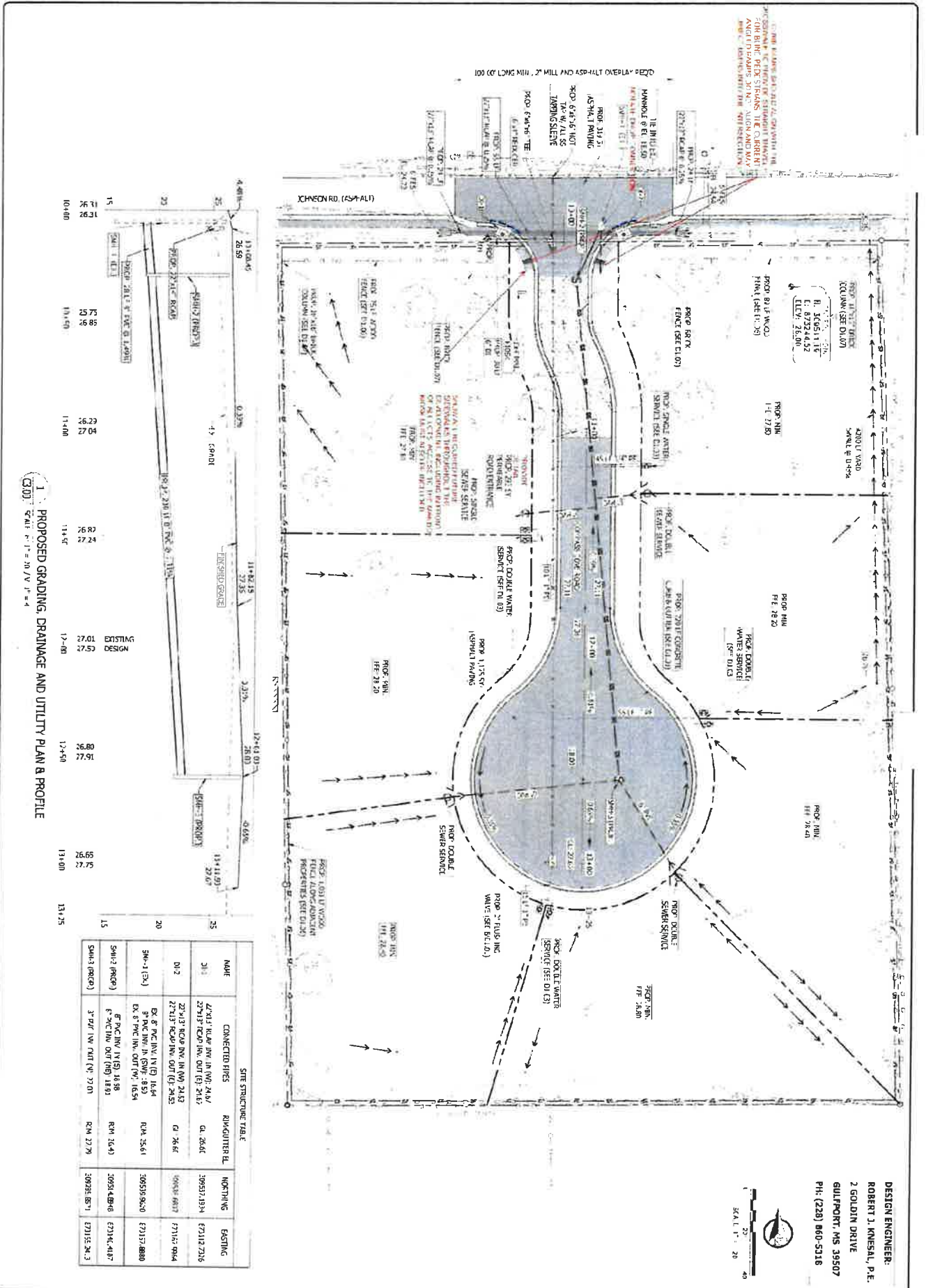
<b>C1.00</b>	<b>DEAS HOMES CO</b>		<table border="1"> <thead> <tr> <th>NO.</th> <th>DATE</th> <th>REVISION / ISSUE</th> </tr> </thead> <tbody> <tr> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> </tr> </tbody> </table>	NO.	DATE	REVISION / ISSUE						
	NO.	DATE		REVISION / ISSUE								
<b>COMPASS COVE SUBDIVISION</b>												
<b>EXISTING SITE / DEMO PLAN</b>												
<p>DESIGN ENGINEER: <b>ROBERT J. KNESEL, P.E.</b> 2 GOLDEN DRIVE GULFPORT, MS 39507 PH: (728) 860-5318</p>		<table border="1"> <thead> <tr> <th>DATE</th> <th>BY</th> <th>NO.</th> <th>ED.</th> </tr> </thead> <tbody> <tr> <td> </td> <td> </td> <td> </td> <td> </td> </tr> </tbody> </table> <p align="center"><b>Gulf Coast Design Solutions, LLC.</b></p>	DATE	BY	NO.	ED.						
DATE	BY	NO.	ED.									

**MINUTES OF APRIL 23, 2026  
REGULAR MEETING  
LONG BEACH PLANNING and DEVELOPMENT COMMISSION**



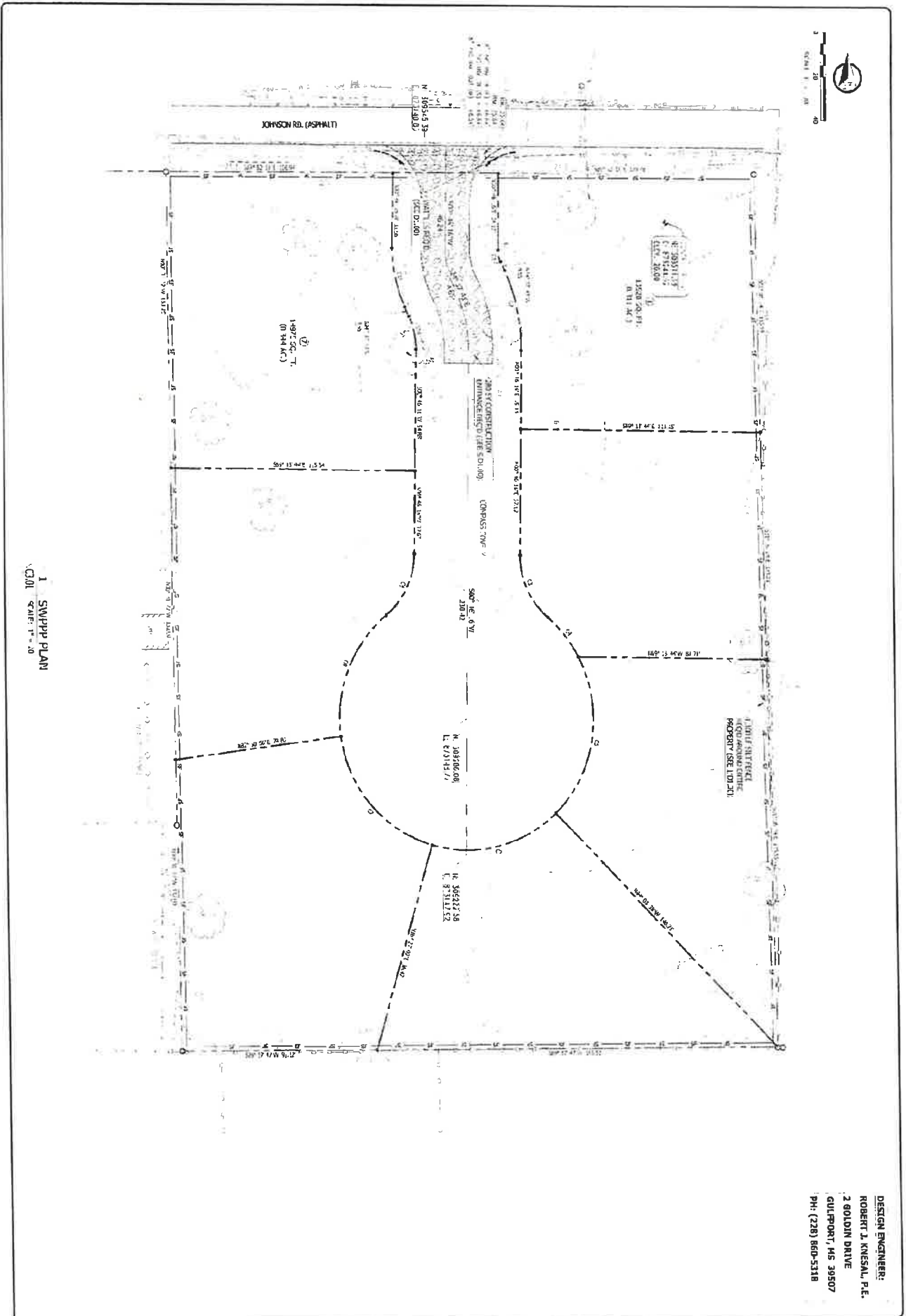
<b>C2.00</b>	<b>DEAS HOMES CO</b>		<table border="1"> <thead> <tr> <th>N.J.</th> <th>DATE</th> <th>REVISION / ISSUE</th> </tr> </thead> <tbody> <tr> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> </tr> </tbody> </table>	N.J.	DATE	REVISION / ISSUE										<table border="1"> <thead> <tr> <th>DATE</th> <th>AS NOTED</th> <th>PROJECT NO.</th> </tr> </thead> <tbody> <tr> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> </tr> </tbody> </table>	DATE	AS NOTED	PROJECT NO.						
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<b>LOT LAYOUT &amp; TYPICAL ROAD SECTION</b>																									

MINUTES OF APRIL 23, 2026  
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C3.00	DEAS HOMES CO	NO. DATE REVISION / ISSUE DATE AS NCTED 225 3. KNESAL B. LADNER Gulf Coast Design Solutions, LLC.
	COMPASS COVE SUBDIVISION	
	PROPOSED GRADING, DRAINAGE AND UTILITY PLAN & PROFILE	

**MINUTES OF APRIL 23, 2026  
REGULAR MEETING  
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<b>C3.01</b>	<b>DEAS HOMES CO COMPASS COVE SUBDIVISION</b>		<b>NO</b>		<b>DATE</b>		<b>REVISION / ISSUE</b>		225-014 DATE AS NOTED 8. KNESAL    B. LAJNER	
	<b>SWPPP PLAN</b>								<b>Gulf Coast</b> <b>Design Solutions, LLC.</b>	

**MINUTES OF APRIL 23, 2026  
REGULAR MEETING  
LONG BEACH PLANNING and DEVELOPMENT COMMISSION**

**DESIGN ENGINEER:**  
ROBERT J. KNESSL, P.E.  
2 GOLDEN DRIVE  
GULFBORO, MS 39507  
PH: (228) 860-5318

**6 RCP & SCAP STORMWATER PIPE PLACEMENT DETAIL**  
D1.00 NOT TO SCALE

**7 INLET PROTECTION**

**9 ACCESSIBLE CURB RAMP**  
D1.00 NOT TO SCALE

**8 TYPICAL SIGN PLACEMENT DETAIL**  
D1.00 NOT TO SCALE

**10 4" CONCRETE SIDEWALK SECTION**  
D1.00 NOT TO SCALE

**DEAS HOMES CO  
COMPASS COVE SUBDIVISION  
GENERAL CIVIL DETAILS**

**5 TYP. WATTLE LAYOUT AROUND DRAIN INLET**  
D1.00 NOT TO SCALE

**4 SECTION A-A - ENTRENCHMENT DETAIL**  
D1.00 NOT TO SCALE

**1. TEMPORARY SILT FENCE DETAIL**  
D1.00 NOT TO SCALE

**2. TYPICAL WATTLE INSTALLATION GUIDE**  
D1.00 NOT TO SCALE

**3. TEMPORARY CONSTRUCTION ACCESS / EGRESS**  
D1.00 NOT TO SCALE

**NOTES:**

- WATTLE SHALL BE MINIMUM OF 27" IN WIDTH AND 6" IN HEIGHT. FABRIC SHALL BE 100% POLYPROPYLENE WITH 2" STAY SMOKING WATTLE.
- GEOTEXTILE FABRIC SHALL BE 500 G/M<sup>2</sup> AT MINIMUM. WATTLE SHALL BE 27" IN WIDTH AND 6" IN HEIGHT. FABRIC SHALL BE 100% POLYPROPYLENE WITH 2" STAY SMOKING WATTLE.
- STEEL POST SHALL BE 5/8" IN DIAMETER AND OF THE SAME LENGTH AS THE WATTLE. WATTLE SHALL BE 27" IN WIDTH AND 6" IN HEIGHT. FABRIC SHALL BE 100% POLYPROPYLENE WITH 2" STAY SMOKING WATTLE.
- GEOTEXTILE FABRIC MEETING THE TYPE II MINIMUM SPECIFICATIONS AND PERFORMING AS SUCH SHALL BE USED TO PROTECT EXISTING UTILITY LINES.
- SILT FENCING TO BE INSTALLED ALONG CONSTRUCTION LIMITS OF PROJECT. EROSION CONTROL MEASURES AS SO NOTED SHALL BE INSTALLED AT ALL SITES DURING CONSTRUCTION.

**D1.00**

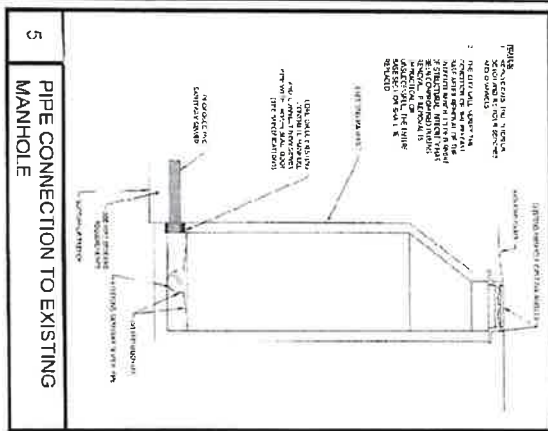
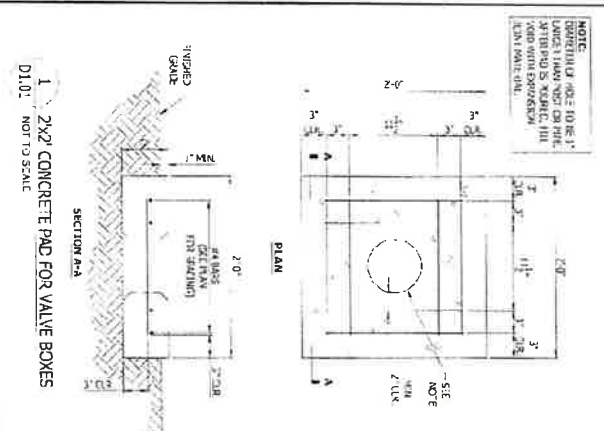
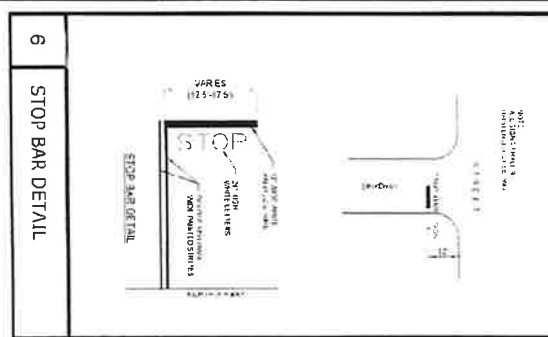
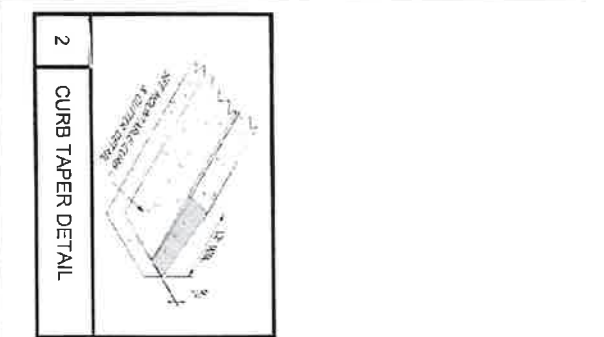
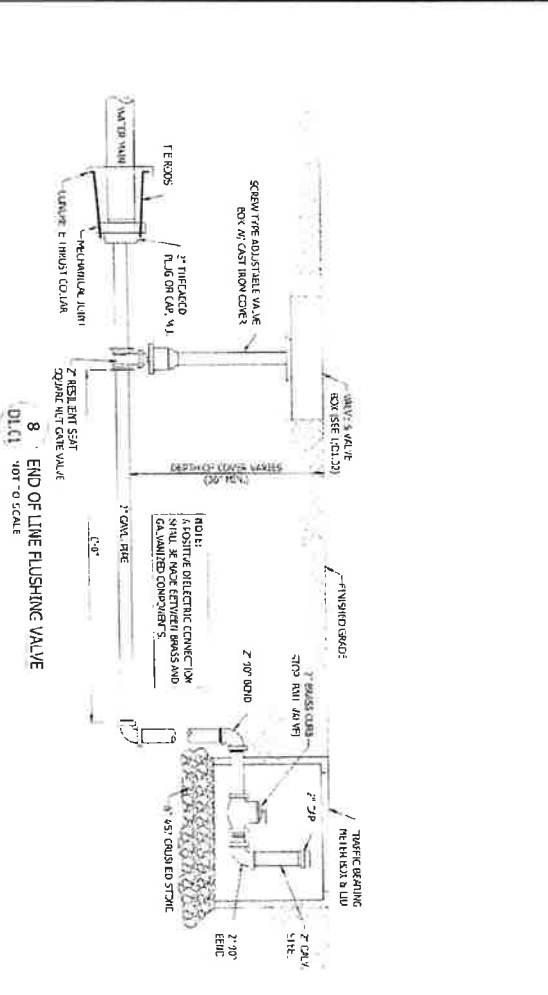
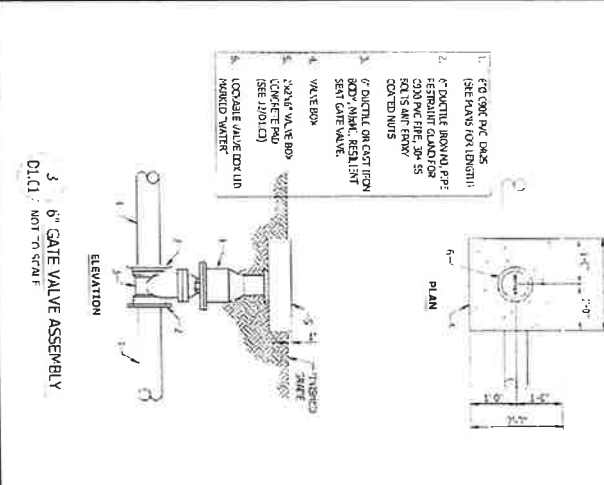
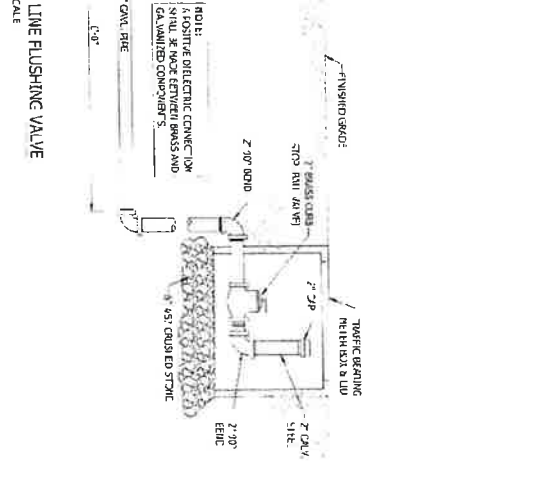
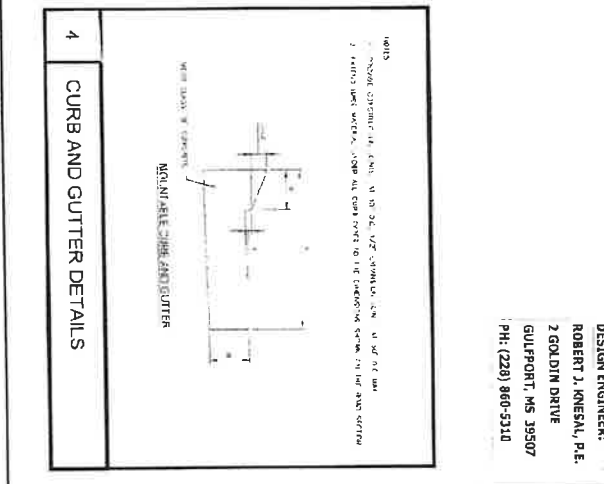
NO.	DATE	REVISION / ISSUE

**D1.00**

AS NOTED 125 01  
DATE 04.23.26  
BY B. KNESSL B. LADNER B. DOR

*Gulf Coast Design Solutions, LLC.*

**MINUTES OF APRIL 23, 2026  
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LONG BEACH PLANNING and DEVELOPMENT COMMISSION**

<p><b>5</b> <b>PIPE CONNECTION TO EXISTING MANHOLE</b></p>	 <p><b>NOTE:</b> 1. THE EXISTING MANHOLE SHALL BE REPAIRED TO ORIGINAL CONDITION. 2. THE EXISTING MANHOLE SHALL BE REPAIRED TO ORIGINAL CONDITION. 3. THE EXISTING MANHOLE SHALL BE REPAIRED TO ORIGINAL CONDITION. 4. THE EXISTING MANHOLE SHALL BE REPAIRED TO ORIGINAL CONDITION. 5. THE EXISTING MANHOLE SHALL BE REPAIRED TO ORIGINAL CONDITION.</p>	<p><b>NOTE:</b> 1. 2X2' CONCRETE PAD FOR VALVE BOXES D1.01 NOT TO SCALE</p> 												
<p><b>6</b> <b>STOP BAR DETAIL</b></p>	 <p><b>NOTE:</b> 1. STOP BAR SHALL BE 2" HIGH. 2. STOP BAR SHALL BE 1/2" THICK. 3. STOP BAR SHALL BE 1/2" WIDE. 4. STOP BAR SHALL BE 1/2" LONG.</p>	<p><b>2</b> <b>CURB TAPER DETAIL</b></p> 												
<p><b>8</b> <b>END OF LINE FLUSHING VALVE</b></p>	 <p><b>NOTE:</b> 1. THE VALVE SHALL BE 6" IN DIAMETER. 2. THE VALVE SHALL BE 1/2" THICK. 3. THE VALVE SHALL BE 1/2" WIDE. 4. THE VALVE SHALL BE 1/2" LONG.</p>	<p><b>3</b> <b>6" GATE VALVE ASSEMBLY</b></p> <p>D1.01 NOT TO SCALE</p> 												
<p><b>4</b> <b>CURB AND GUTTER DETAILS</b></p>	 <p><b>NOTE:</b> 1. THE CURB SHALL BE 4" HIGH. 2. THE CURB SHALL BE 1/2" THICK. 3. THE CURB SHALL BE 1/2" WIDE. 4. THE CURB SHALL BE 1/2" LONG.</p>	<p><b>4</b> <b>CURB AND GUTTER DETAILS</b></p>  <p><b>NOTE:</b> 1. THE CURB SHALL BE 4" HIGH. 2. THE CURB SHALL BE 1/2" THICK. 3. THE CURB SHALL BE 1/2" WIDE. 4. THE CURB SHALL BE 1/2" LONG.</p>												
<p><b>DEAS HOMES CO</b> <b>COMPASS COVE SUBDIVISION</b></p>		<p><b>DESIGN ENGINEER:</b> <b>ROBERT J. KNESAL, P.E.</b> 2 GOLDEN DRIVE GULFPORT, MS 39507 PH: (228) 860-5310</p>												
<p><b>D1.01</b></p>	<p><b>GENERAL CIVIL DETAILS</b></p>	<table border="1" style="width:100%; border-collapse: collapse;"> <thead> <tr> <th>NO</th> <th>DATE</th> <th>REVISION / ISSUE</th> </tr> </thead> <tbody> <tr> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> </tr> </tbody> </table>	NO	DATE	REVISION / ISSUE									
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**MINUTES OF APRIL 23, 2026  
REGULAR MEETING  
LONG BEACH PLANNING and DEVELOPMENT COMMISSION**

**4 STORM SEWER STRUCTURE TYPE SS-2**

**NOTES:**  
1. CLEANOUT 1/2" MIN. ABOVE GROUND 10' FROM NEW CONSTRUCTION. LEAVE BUSH WITH GROUND FOR EXISTING IMPROVED YARDS.  
2. SEWER SERVICE SHALL BE LOCATED 5' FROM SIDE OF STRUCTURE.

**SHALLOW SEWER SERVICE SECTION**

**DOUBLE SEWER SERVICE**

**1" DIA SEWER MANHOLE SECTION**

**SS-2 THROAT SPECIAL ROLL-OVER CURB SECTION**

**DESIGN ENGINEER:**  
ROBERT J. KNESAL, P.E.  
2 GOLDEN DRIVE  
GULFPORT, MS 39507  
PH: (228) 860-5318

NO.	DATE	REVISION / ISSUE

DATE	AS NOTED	225-0-4

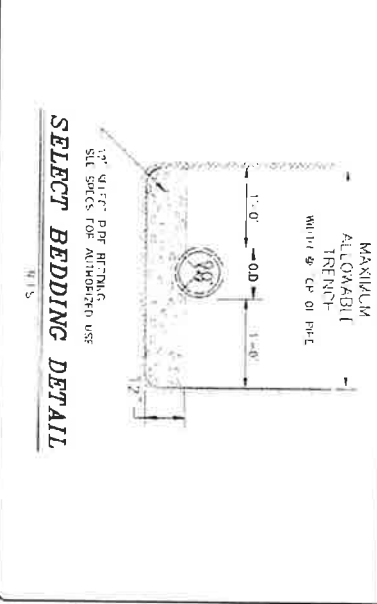
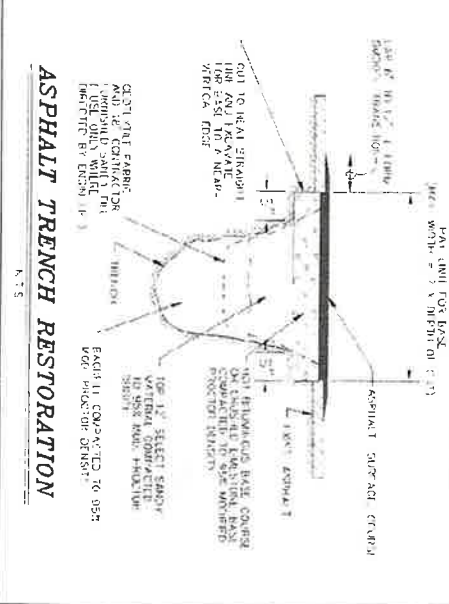
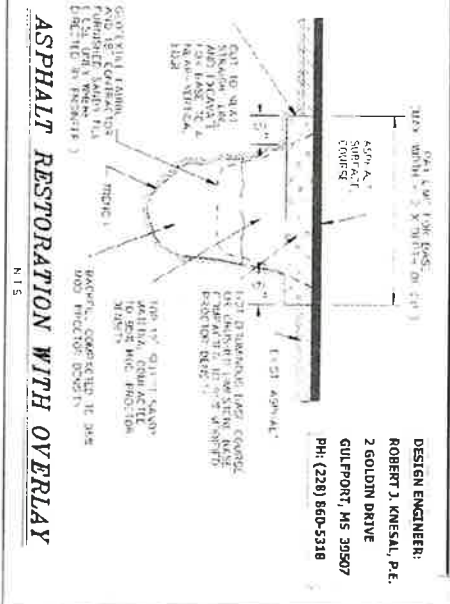
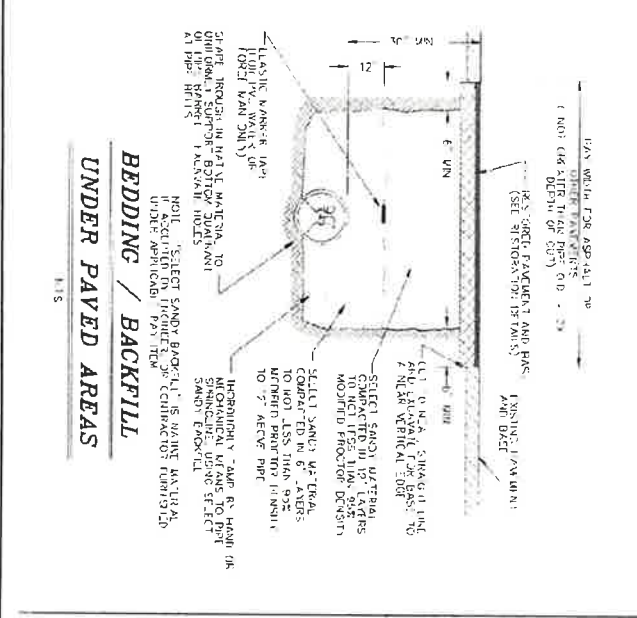
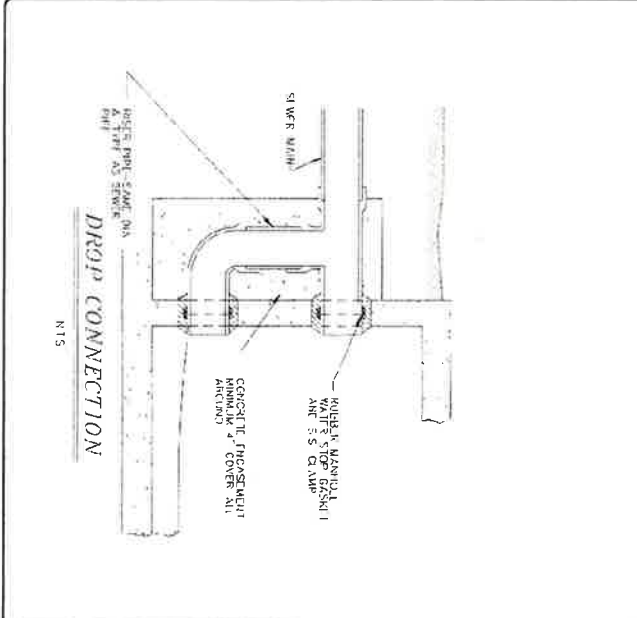
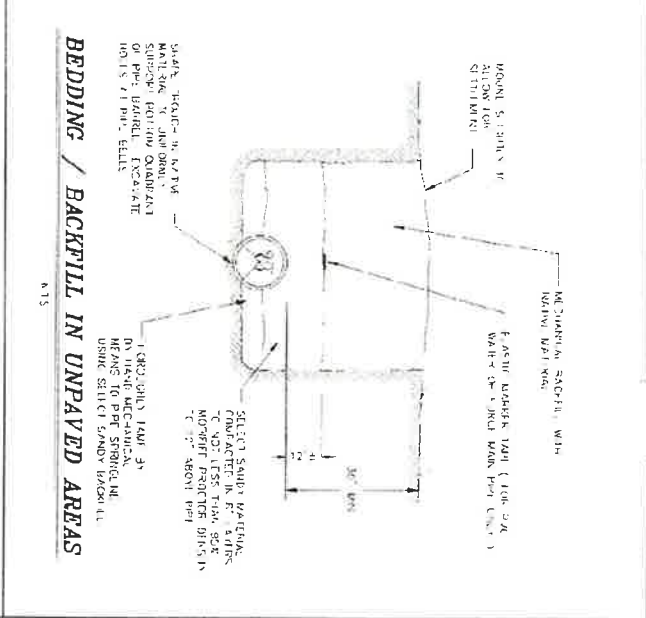
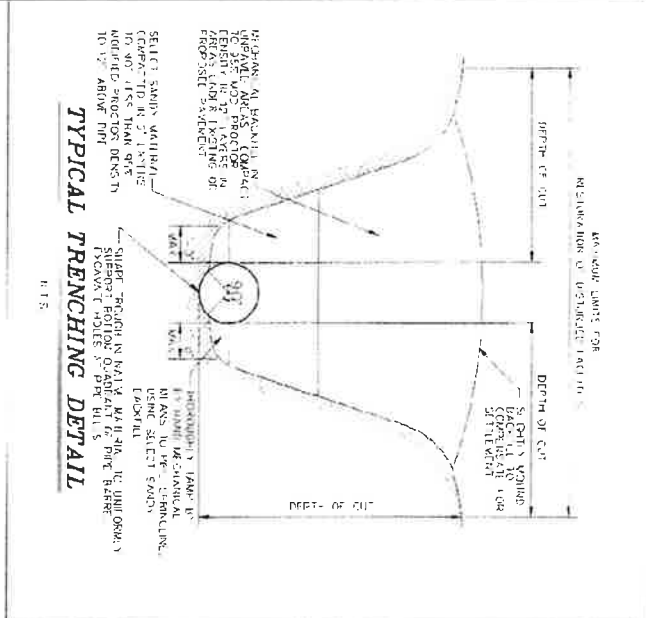
**Gulf Coast Design Solutions, LLC.**

**D1.02**

DEAS HOMES CO  
COMPASS COVE SUBDIVISION  
GENERAL CIVIL DETAILS

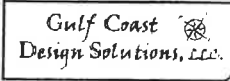


**MINUTES OF APRIL 23, 2026  
REGULAR MEETING  
LONG BEACH PLANNING and DEVELOPMENT COMMISSION**



**DESIGN ENGINEER:**  
ROBERT J. KRESAL, P.E.  
2 GOLDEN DRIVE  
GULFPORT, MS 39507  
PH: (228) 860-5318

<b>D1.04</b>	DEAS HOMES CO		<table border="1"> <thead> <tr> <th>NO</th> <th>DATE</th> <th>REVISION / ISSUE</th> </tr> </thead> <tbody> <tr> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> </tr> </tbody> </table>	NO	DATE	REVISION / ISSUE						
	NO	DATE		REVISION / ISSUE								
COMPASS COVE SUBDIVISION		<p align="center"><b>GENERAL CIVIL DETAILS</b></p>										
GENERAL CIVIL DETAILS												



**MINUTES OF APRIL 23, 2026  
REGULAR MEETING  
LONG BEACH PLANNING and DEVELOPMENT COMMISSION**

**PLAN OF COVER**

**ELEVATION OF COVER**

**SECTION B-B**

**SECTION A-A**

**PLAN**

**LIFT BAR**

**REINFORCING BAR 1.151**

BAR	NO.	SIZE	LENGTH	AREA	WEIGHT
1	4	#4	10.00	0.00	0.00
2	4	#4	10.00	0.00	0.00
3	4	#4	10.00	0.00	0.00
4	4	#4	10.00	0.00	0.00
5	4	#4	10.00	0.00	0.00
6	4	#4	10.00	0.00	0.00
7	4	#4	10.00	0.00	0.00
8	4	#4	10.00	0.00	0.00
9	4	#4	10.00	0.00	0.00
10	4	#4	10.00	0.00	0.00
11	4	#4	10.00	0.00	0.00
12	4	#4	10.00	0.00	0.00
13	4	#4	10.00	0.00	0.00
14	4	#4	10.00	0.00	0.00
15	4	#4	10.00	0.00	0.00
16	4	#4	10.00	0.00	0.00
17	4	#4	10.00	0.00	0.00
18	4	#4	10.00	0.00	0.00
19	4	#4	10.00	0.00	0.00
20	4	#4	10.00	0.00	0.00
21	4	#4	10.00	0.00	0.00
22	4	#4	10.00	0.00	0.00
23	4	#4	10.00	0.00	0.00
24	4	#4	10.00	0.00	0.00
25	4	#4	10.00	0.00	0.00
26	4	#4	10.00	0.00	0.00
27	4	#4	10.00	0.00	0.00
28	4	#4	10.00	0.00	0.00
29	4	#4	10.00	0.00	0.00
30	4	#4	10.00	0.00	0.00
31	4	#4	10.00	0.00	0.00
32	4	#4	10.00	0.00	0.00
33	4	#4	10.00	0.00	0.00
34	4	#4	10.00	0.00	0.00
35	4	#4	10.00	0.00	0.00
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53	4	#4	10.00	0.00	0.00
54	4	#4	10.00	0.00	0.00
55	4	#4	10.00	0.00	0.00
56	4	#4	10.00	0.00	0.00
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86	4	#4	10.00	0.00	0.00
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89	4	#4	10.00	0.00	0.00
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91	4	#4	10.00	0.00	0.00
92	4	#4	10.00	0.00	0.00
93	4	#4	10.00	0.00	0.00
94	4	#4	10.00	0.00	0.00
95	4	#4	10.00	0.00	0.00
96	4	#4	10.00	0.00	0.00
97	4	#4	10.00	0.00	0.00
98	4	#4	10.00	0.00	0.00
99	4	#4	10.00	0.00	0.00
100	4	#4	10.00	0.00	0.00

**MISSISSIPPI DEPARTMENT OF TRANSPORTATION  
ROADWAY DESIGN DIVISION  
STANDARD PLAN**

**JUNCTION BOX FOR PIPE CULVERTS**

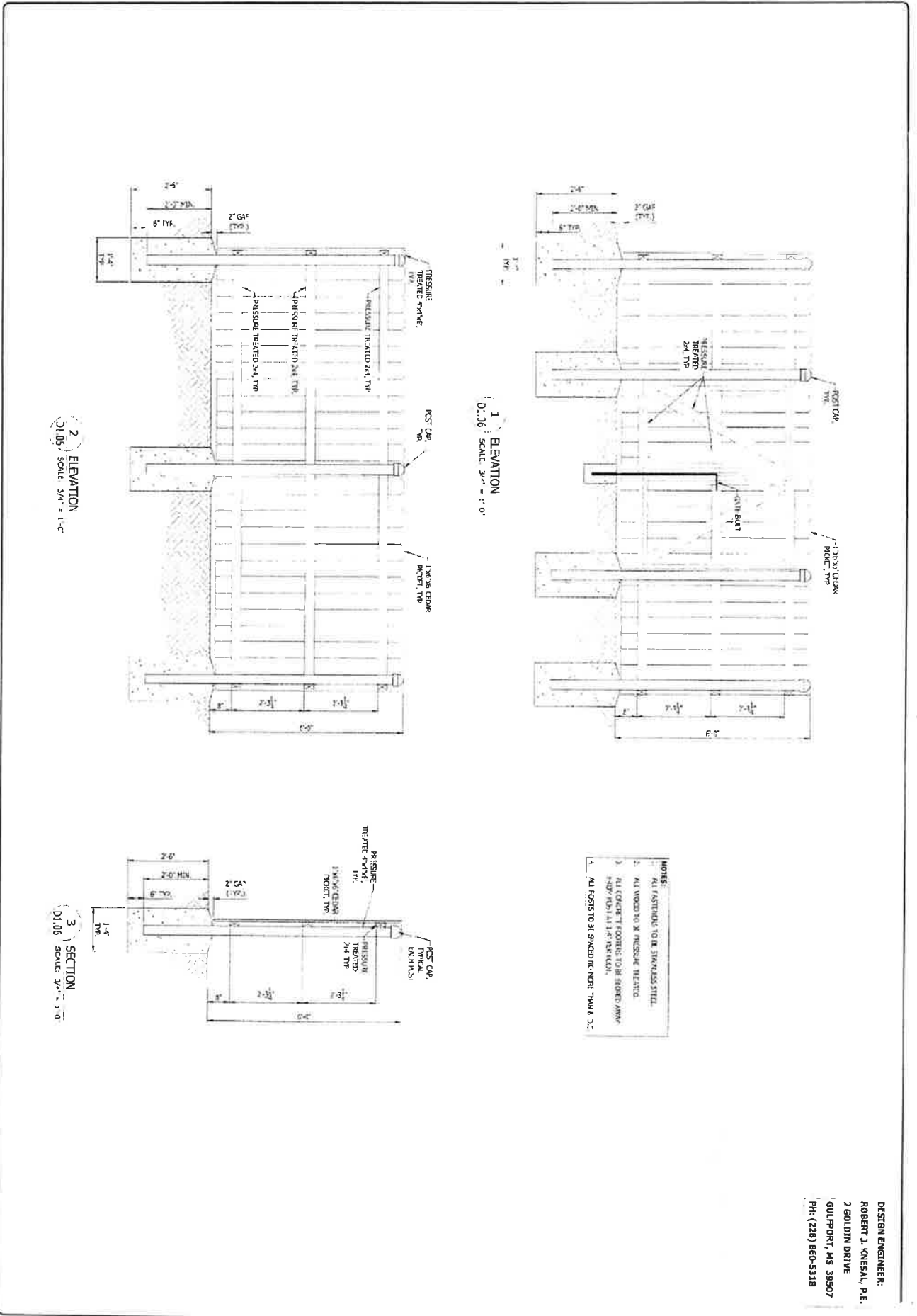
**MISSISSIPPI DEPARTMENT OF TRANSPORTATION  
ROADWAY DESIGN DIVISION  
STANDARD PLAN**

**STATE PROJECT NO. MISS.**

**DESIGN ENGINEER:  
ROBERT J. KRESAL, P.E.  
2 GOLDEN DRIVE  
GULFPORT, MS 39507  
PH: (228) 860-5318**

D1.05	<b>DEAS HOMES CO</b>			NO. DATE REVISION / ISSUE _____ _____ _____	DATE AS NOTED 2/25/04 DRAWN BY E. CHESAL CHECKED BY D. LADNER DESIGNED BY B. DEAS
	<b>COMPASS COVE SUBDIVISION</b>				
	<b>JUNCTION BOX</b>				
	<b>FOR PIPE CULVERTS</b>				

**MINUTES OF APRIL 23, 2026  
REGULAR MEETING  
LONG BEACH PLANNING and DEVELOPMENT COMMISSION**

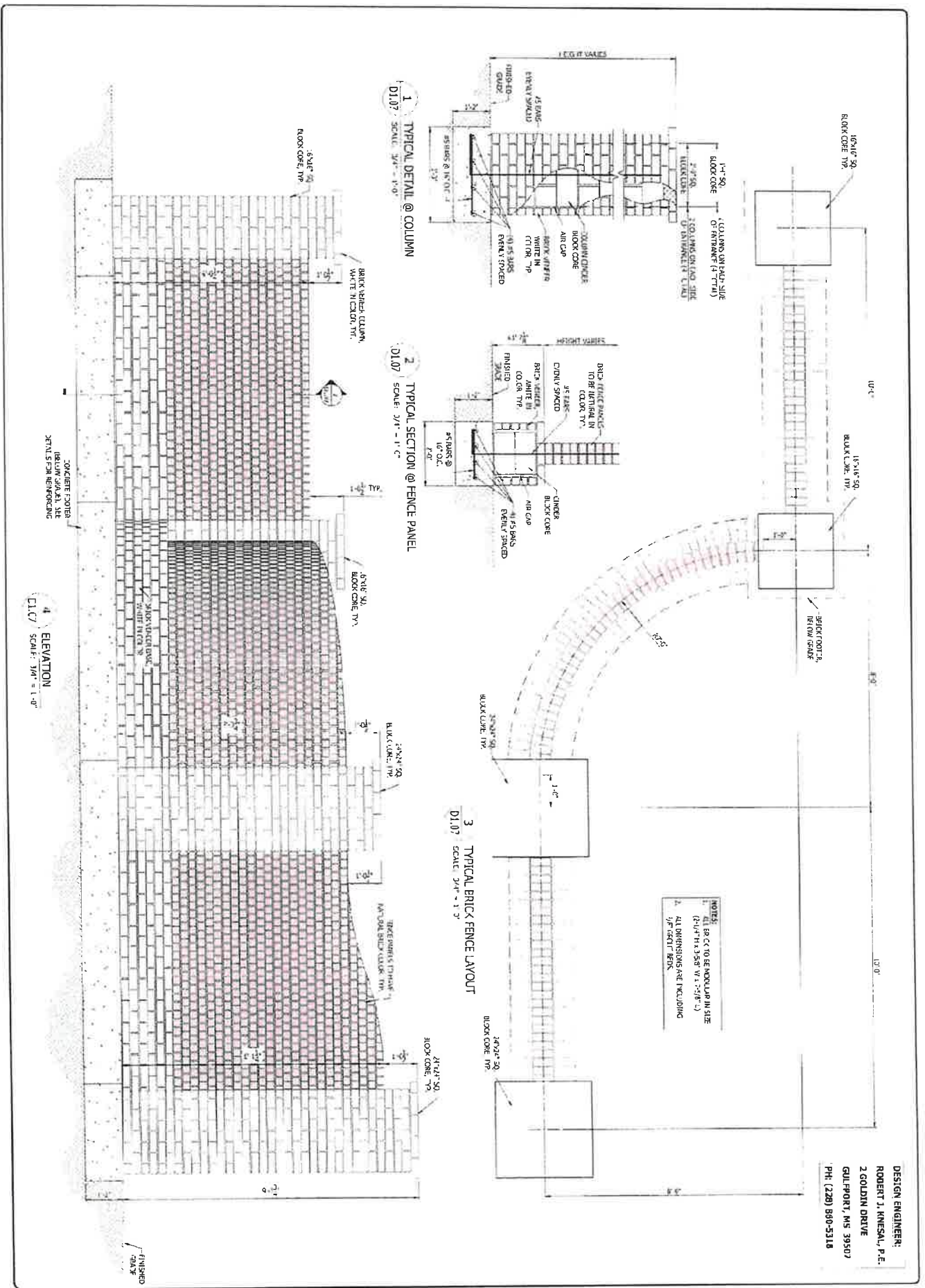


- NOTES:**
1. ALL FASTENERS TO BE STAINLESS STEEL.
  2. ALL WOOD TO BE PINE/SUGAR PINE.
  3. ALL CONCRETE FOOTINGS TO BE BORED AND FILL WITH 1:2:4 REINFORCED.
  4. ALL POSTS TO BE SPACED ACCORDING TO IBC & IFC.

**DESIGN ENGINEER:**  
ROBERT J. KNESAL, P.E.  
2 GOLDEN DRIVE  
GULFPORT, MS 39507  
PH: (228) 860-5318

<b>D1.06</b>	DEAS HOMES CO	NO	DATE	REVISION / ISSUE	<table border="1"> <tr> <td>DATE</td> <td>AS NOTED</td> <td>7/5-014</td> </tr> <tr> <td>BY</td> <td>BY</td> <td>BY</td> </tr> <tr> <td>B. KNESAL</td> <td>B. LADNER</td> <td>B. DEAS</td> </tr> </table>	DATE	AS NOTED	7/5-014	BY	BY	BY	B. KNESAL	B. LADNER	B. DEAS
	DATE	AS NOTED	7/5-014											
	BY	BY	BY											
B. KNESAL	B. LADNER	B. DEAS												
COMPASS COVE SUBDIVISION														
WOOD FENCE DETAILS														

MINUTES OF APRIL 23, 2026  
 REGULAR MEETING  
 LONG BEACH PLANNING and DEVELOPMENT COMMISSION



DESIGN ENGINEER:  
 ROBERT J. KNESSL, P.E.  
 2 GOLDMIN DRIVE  
 GULFPORT, MS 39507  
 PH: (228) 860-5318

D1.07	DEAS HOMES CO	NO.		DATE		REVISION / ISSU	
	COMPASS COVE SUBDIVISION						
	BRICK FENCE DETAILS						
		DATE	AS NOTED	PROJECT NO.	225-0-4		
		B. KNESSL	B. LADNER	DESIGNED BY	LIMITED BY		
					B. DEAS		

**MINUTES OF APRIL 23, 2026  
REGULAR MEETING  
LONG BEACH PLANNING and DEVELOPMENT COMMISSION**



**OVERSTREET  
& ASSOCIATES**  
CONSULTING ENGINEERS

[overstreeteng.com](http://overstreeteng.com)  
161 Lameuse St. Suite 203  
Biloxi, MS 39530  
228.967.7137

## MEMORANDUM

Date: 04/23/2026  
To: City of Long Beach  
From: Tyler Yarbrough  
RE: Compass Cove Preliminary Plat Review

Please see below for our engineering review comments, which should be addressed prior to City approval.

### Construction Plans:

#### C3.00:

1. Curb ramps should align with the crosswalk to provide straight travel for blind pedestrians. The current angled ramps do not align and may direct users into the intersection.
2. Show all required future sidewalks throughout the development, including in front of all lots. Access to the mailbox kiosk must also be included.
3. Provide detail for permeable road entrance.
4. Notate on callout that connecting to the existing sewer manhole will require a drop connection.

#### D1.03:

5. Notate the water service detail to ensure the meter box is cast iron and the water service is lockable.

### General Comments:

1. Submit Detention & Drainage Calcs indicating no increase in post development vs pre development flow rates.

Biloxi | Long Beach | Pascagoula | Daphne

O:\0539\Subdiv. & Devs\2025 Compass Cove\20260421 Preliminary Plat\20260423 Compass Cove Prelim Plat Review.docx

Page 1/1

48 M.B. 39

04.23.26 Reg

**MINUTES OF APRIL 23, 2026  
REGULAR MEETING  
LONG BEACH PLANNING and DEVELOPMENT COMMISSION**

After discussion and upon recommendation made by the City of Long Beach Engineer, Commissioner Suthoff made motion, seconded by Commissioner Hughes and unanimously carried recommending to table the application giving the applicant time to address the City Engineers' comments.

\*\*\*\*\*

It came for discussion under New Business a Short-Term Rental for the property located at 1002 East Beach Blvd, Tax Parcel 0711N-05-050.000, submitted by Phillip and Christina Plaisance, dba CP3 Properties, LLC (owners) and Caitlyn Myrick, dba Vision Stays, LLC (property manager), as follows:

**MINUTES OF APRIL 23, 2026  
REGULAR MEETING  
LONG BEACH PLANNING and DEVELOPMENT COMMISSION**

CITY OF LONG BEACH, MISSISSIPPI											
APPLICATION FOR SHORT-TERM RENTAL											
<b>PHYSICAL ADDRESS:</b> 201 JEFF DAVIS AVENUE LONG BEACH, MS 39560	<b>PHONE:</b> (228) 863-1554 <b>FAX:</b> (228) 863-1558	<b>MAILING ADDRESS:</b> POST OFFICE BOX 929 LONG BEACH, MS 39560									
<b>PROPERTY INFORMATION:</b>											
ADDRESS: <u>1002 E Beach Blvd, Long Beach MS 39560</u>		Tax Parcel # <u>87111-85-050-000</u>									
<small>(Location of Short-Term Rental)</small>											
<b>OWNER'S INFORMATION:</b>											
Property Owner's Name: <u>Philip &amp; Christina Plaisance, dba CP3 Properties, LLC</u>											
Property Owner's Address: <u>1002 E Beach Blvd Long Beach MS 39560</u>											
Property Owner's Mailing Address, if different from above:											
<u>15281 Ryan Ave</u>	<u>Prairieville</u>	<u>LA</u>	<u>70769</u>								
	<small>City</small>	<small>State</small>	<small>Zip</small>								
Property Owner's Phone No: <u>225-603-3982</u>		Email Address: <u>properties.cp3@gmail.com</u>									
Is there a homeowner's association for the neighborhood? <input type="checkbox"/> If so, please provide written statement of support of short term rental?											
<b>PROPERTY MANAGER INFORMATION:</b>											
Property Manager's Name: <u>Caitlyn Myrick DBA Vision Stays LLC</u>											
Property Manager's Address: (Must be a local contact)											
<u>18002</u>	<u>Commission Rd</u>	<u>Long Beach MS</u>	<u>39560</u>								
		<small>City</small>	<small>State</small>								
OFFICE: <u>200 Rue Petit Bois Ste 205 Biloxi MS 39531</u>											
Property Manager's Phone No.: <u>228 204 5051</u>		Email Address: <u>stay@visionstays.com</u>									
<b>PLEASE PROVIDE THE FOLLOWING:</b>											
<ul style="list-style-type: none"> <li>• Mississippi Sales Tax ID # <u>1503-0497</u></li> <li>• Recorded Warranty Deed</li> <li>• Parking Rules &amp; Plan</li> <li>• Trash Management Plan</li> <li>• Copy of Proposed Rental Agreement</li> <li>• Proof of Liability Insurance, which includes short term rental coverage</li> </ul>											
<b>ADDITIONAL INFORMATION:</b>											
<ul style="list-style-type: none"> <li>• Completed written statement of compliance.</li> <li>• FEES: \$250, nonrefundable application fee. \$500, yearly renewable fee. Checks should be made payable to the City of Long Beach.</li> <li>• LICENSE: A Privilege Tax License must be applied and paid for after approval.</li> <li>• INCOMPLETE APPLICATIONS will not be processed.</li> </ul>											
<b>AFFIDAVIT</b>											
I HEREBY CERTIFY THAT I HAVE READ THIS APPLICATION AND THAT ALL INFORMATION CONTAINED HEREIN TRUE AND CORRECT. I ACKNOWLEDGE RECEIPT OF AND AGREE TO COMPLY WITH THE RULES & REGULATIONS OF SHORT-TERM RENTALS (Ordinance 660), ALL APPLICABLE CODES, ORDINANCES AND STATE LAWS VIOLATION OF ANY CODES OR REGULATIONS SHALL RESULT IN THE SUSPENSION OR REVOCATION OF THE PERMIT											
<u>Caitlyn Myrick</u>	<u>Caitlyn Myrick</u>	<u>3/09/26</u>									
<small>PRINT NAME</small>	<small>SIGNATURE</small>	<small>DATE</small>									
<b>BELOW IS FOR OFFICE USE ONLY</b>											
Maximum Occupancy: <u>11</u>	Maximum Vehicles allowed: <u>5</u>	Number of bedrooms: <u>5</u>	Number of people home can accommodate: <u>11</u>								
I AFFIRM THAT THE APPLICANT IS IN COMPLIANCE WITH ALL APPLICABLE ZONING REQUIREMENTS, BUILDING & FIRE CODES; AND THAT ALL APPLICABLE TAXES, FEES AND OTHER CHARGES HAVE BEEN PAID.											
Building Official Signature: _____		Date: _____									
Fire Inspector Signature: _____		Date: _____									
COMMENTS: _____											
<table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <td style="width: 25%;">Date Received: <u>4-9-26</u></td> <td>_____</td> </tr> <tr> <td>Agenda Date: <u>4-20-26</u></td> <td>_____</td> </tr> <tr> <td>Amount Due/Paid: <u>250.00</u></td> <td>_____</td> </tr> <tr> <td>Payment Method: <u>CC</u></td> <td>_____</td> </tr> </table>				Date Received: <u>4-9-26</u>	_____	Agenda Date: <u>4-20-26</u>	_____	Amount Due/Paid: <u>250.00</u>	_____	Payment Method: <u>CC</u>	_____
Date Received: <u>4-9-26</u>	_____										
Agenda Date: <u>4-20-26</u>	_____										
Amount Due/Paid: <u>250.00</u>	_____										
Payment Method: <u>CC</u>	_____										



**MINUTES OF APRIL 23, 2026  
REGULAR MEETING  
LONG BEACH PLANNING and DEVELOPMENT COMMISSION**

**Parking Plan – 1002 E Beach Blvd**

The home can comfortably accommodate up to 5 vehicles. Guests may park 3 vehicles in the gravel driveway and 2 vehicles underneath the home. Please ensure vehicles are parked within these designated areas.



**Trash Guidelines – 1002 E Beach Blvd**

Trash pickup occurs on **Mondays**. Please place trash cans at the roadside facing **Highway 90**, with the **lid opening facing the road**.

For convenience, we recommend placing the cans out on **Sunday evening**. After pickup, please return the cans to the side of the home in a timely manner.

Thank you for helping us keep the property clean and well-maintained!

**MINUTES OF APRIL 23, 2026  
REGULAR MEETING  
LONG BEACH PLANNING and DEVELOPMENT COMMISSION**



**Vision Stays**

Mississippi Vacation Rental Management  
228-206-5651 • stay@visionstays.com • Vision Stays

**RENTAL PROPERTY MANAGEMENT AGREEMENT  
Standard - Short-Term Rentals – 3 months or less**

MANAGING OWNER (primary contact person who is authorized to act on behalf of all owners and make and receive payments on behalf of all owners), CP3 Properties, LLC hereafter known as "OWNERS" and Vacation Rental "MANAGER", Vision Stays LLC, hereinafter called "MANAGER" hereby covenant and agree:

1. Philip Plaisance **RIGHT TO MANAGE:** OWNER hereby makes, constitutes, and appoints the MANAGER with the full power of substitution, its true and lawful attorney-in-fact to sign and acknowledge any rental of said property pursuant to the terms hereof, and take any action, including eviction of any tenant, necessary to enforce compliance with such rental agreements.

PROPERTY NAME ON LISTING:  
ADDRESS: 1002 E Beach Blvd, Long Beach, MS 39560

This agreement shall be effective beginning on 04/08/2026

2. Philip Plaisance **MANAGEMENT RESPONSIBILITIES:** MANAGER will be responsible for the following

- Compliance with local regulations and ordinances
- Marketing the property on various channels/platforms/OTA's (Online Travel Agencies) and the Vision Stays website
- Optimization through ongoing reviews of the property's performance. Implementation of necessary price adjustments to attract more potential guests. Recommendations/feedback from guests for changes will be provided to the owner.

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- All guest correspondence including but not limited to:

- Responding to reservation inquiries.
- Processing reservations and cancellations.
- Handling disputes.
- Renter management and relations.
- Check-in and check-out services.
- Preparation and personal enforcement of rental agreements.
- Scheduling housekeeping and laundry services.
- Providing turnover items (list below).
- Walk-through of home no less than every two weeks.
- Creation of an Owner Portal so the OWNER can see the bookings and performance of the property at any time.
- OWNER invoice statements and disbursements provided to the OWNER by the 15th of each month.
- Tax reporting and remission of taxes collected from guests. Please note: these taxes are only the hospitality and MS General Use Sales taxes that are paid by the guest. The owner is responsible for reporting all income and expenses associated with the property.
- The MANAGER will provide a completed 1099 form to the OWNER each year. This form is to be used for income tax reporting purposes and is a summary of the income (payouts) received as income to the OWNER during the year.

3. Philip Plaisance **ONBOARDING FEES: \$1,000 as discussed.**

- Marketing
- OTA account creation
- New listings
- Welcome guides
- Deep clean of entire property
- Pressure washing
- Updated professional photos with staging from TTS
- Guest supplies
- Preventive maintenance check
- Owner portal set up
- Onboarding meeting with portal tour
- Final inventory check
- Purchase of needed inventory
- Prepare cleaning expectations with photos for the cleaner
- Items needed for home

Charging the amount above for onboarding a new property reflects the extensive work involved in preparing it for short-term rental success. This fee covers administrative tasks, compliance, professional photography, listing optimization, and the setup of key

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**MINUTES OF APRIL 23, 2026  
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systems. It also includes property preparation, such as deep cleaning, inventory management, ensuring the property meets guest expectations. By handling these details upfront, we streamline operations and maximize the property's earning potential.

4. Philip Plaisance **RENTAL RATES:** MANAGER uses a dynamic pricing system to determine the best pricing for the property. The pricing is based on amenities the property offers compared to other available STR's as well as demand in the area at a given time. Due to competitive market conditions, tourist fluctuations, and demand, the manager reserves the right to alter rates and terms and make special rates and terms to maximize the owner's rental income and occupancy percentage.
5. Philip Plaisance **DISCLAIMER OF GUARANTEES:** The OWNER understands and agrees that the MANAGER has made no guarantees (written or verbal) of occupancy or income levels for the property. OWNER also acknowledges that MANAGER makes no guarantees regarding amounts of expenses and that no inducements or representations of tax benefits have been made. OWNER acknowledges that due to the ever-changing nature of the short-term rental industry and its regulation, a property may be at risk of losing its permit and/or ability to be marketed at any time. OWNER understands and agrees that MANAGER cannot be held liable for any loss of revenue or property value due to a property's inability to be permitted or marketed.
6. Philip Plaisance **MARKETING:** MANAGER will guarantee marketing of the property on www.Visionstays.com. All costs associated with other property marketing shall be the OWNER's sole responsibility. MANAGER requires, at a minimum, the use of advertising on Airbnb and recommends using VRBO/Homeaway. OWNER agrees to pay the annual advertising costs and booking fees for listing the home on Home Away, VRBO, or any additionally requested listing platforms, as well as the required Processing Fees by each site. Depending on the booking platform, the booking fees can range from \$0 to 30% of the total reservation, and processing fees are typically approximately 4.5% of the total cost of the reservation, including all fees. MANAGER will set up advertising on behalf of the OWNER as part of the On-Boarding Fee (See #4). MANAGER will manage all advertising at no charge for the term of this agreement. This includes, but is not limited to, editing descriptive text, rates, and photos and responding to all rental inquiries and guest requests. OWNER understands that the MANAGER will retain control of the listing and ownership of the profile on which it is listed. If the OWNER chooses to terminate the management agreement, they will not retain access to the listings and marketing created by the MANAGER on their profile platforms.
7. Philip Plaisance **GUEST VERIFICATION & SECURITY DEPOSITS:** MANAGER shall require either a Security Deposit Credit Card Hold or Damage Insurance Plan that covers unintentional damages (minus depreciation) to the rental unit that occur during a stay. The coverage is paid by the guest, and will repair any damages caused by the guest at the cost up to \$5,000.00.
8. Philip Plaisance **PAYMENTS:** The OWNER shall receive rental income payments directly. OWNER agrees to remit payment to MANAGER on or before the 15th day of each month for management fees, lawn service, cleaning, and any other agreed-upon expenses. Minor maintenance and guest damage repairs are covered at the expense of Vision Stays through its damage protection plan.

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All expense reports will be available to the OWNER in the OWNER portal in real time for review at their convenience.

Payments made after the 15th of the month are subject to a late fee of up to \$25 per day. If payment is not received by the 25th day of the month, OWNER understands that all property listings will be paused until all outstanding balances are paid in full.

9. Philip Plaisance **ONGOING FEES:** OWNER is advised and agrees to pay the following:

- **Management Fee:** OWNER shall pay to MANAGER a rental property management fee equal to twenty percent (20%) of all gross pre-tax rental proceeds collected. This fee will be deducted from each rental receipt by MANAGER and billed to OWNER.

- **Performance Adjustment:** If key performance indicators (KPIs) as outlined in this Agreement are met by N/A, the management fee shall adjust to thirty percent (30%) of all gross pre-tax rental proceeds collected thereafter, with an agreement of both parties before said adjustment ensues.

10. Philip Plaisance **TURNOVER ITEMS:** The following items are replenished after each stay by a guest, owner, or the owner's guest. Any restocking of these items will be invoiced to the owner as needed:

- Handwritten Welcome Note
- Snacks
- Bottled water
- Coffee pods
- Sugar packets, artificial sweetener, and creamer
- Canola Oil
- Olive Oil
- Salt & Pepper
- Paper towels (2)
- New dishwashing sponge
- Dish soap for hand washing dishes
- Toilet Paper (2 rolls per bathroom)
- Shampoo in each tub/shower
- Conditioner in each tub/shower
- Bath Soap in each tub/shower
- Hand Soap at each sink
- Dishwasher pods (2)
- Laundry detergent
- Fresh garbage bags in each can plus one extra
- Junk drawer accessories (pens pencils, notepad, safety pins, lighter, paper clips, etc.)
- Dryer balls or sheets

11. Philip Plaisance **POOL AND/OR HOT TUB:** The OWNER shall be responsible the following:

- Ensure the pool/hot tub area complies with local safety regulations, such as fencing, signage, and emergency equipment (e.g., life rings).

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- Vision Stays will hire and pay for a weekly pool and hot tub service to maintain the cleanliness of the pool, ensure it is free of debris, conduct water testing to maintain safe pH and chlorine levels, and perform routine maintenance, including filter cleaning and equipment inspection. The service provider will also manage the seasonal opening and closing of the pool and hot tub, including winterization and reopening procedures.

- Invoices for pool and hot tub maintenance will be paid outright by Vision Stays and billed back to the OWNER on the 15th of each month.

- Provide clear guidelines for pool/hot tub use, including safety rules and operating instructions.

- Inform MANAGER of any maintenance or cleaning schedules to minimize disruptions.

The MANAGER shall be responsible the following:

- Ensure clear guidelines for pool/hot tub use, including ensuring that safety rules are displayed and communicated with guests.

12. Philip Plaisance **OPTIONAL Vision Stays ADD-ONS:** Vision Stays offer personalized touches to each stay enhancing your property's reputation. We ask that the owners pay either \$2,000 a year or \$180.00 a month to allow us to leave something memorable for our guests. Each guest would receive a survey asking questions about them and their reason for visiting. This is optional.

13. Philip Plaisance **ADDITIONAL COSTS:** OWNER is advised and agrees to the following:

- To supply and maintain the furnishings and keep the property in good order and repair.

- To pay for all the running costs of the subject property, including all utilities, pest control, pool/spa service, trash collection, lawn care, HOA fees, and any other expense normally associated with owning a home. We highly recommend the use of auto-withdrawals.

- Maintain Rental Insurance coverage with minimum \$1,000,000 liability with Vision Stays, LLC as an "additional named insured" on the policy.

- To pay for maintenance and replacements due to normal wear and tear consistent with short-term rental industry standards.

- To pay for any platform-assessed fees. (As previously outlined and deducted monthly)

- All taxes required by the city and state to be collected from guests. (Deducted monthly and paid on your behalf as part of our services)

14. Philip Plaisance **REPAIRS:** MANAGER shall contact the OWNER for approval prior to contracting for any major repairs that are not on an emergency basis. However, MANAGER is authorized to make, at OWNER'S expense at any cost and without prior

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approval of any emergency repair involving danger to life or property or for the preservation of the safety of persons occupying the property. MANAGER is authorized to make rental rebates as MANAGER deems appropriate. MANAGER is authorized, and shall use its best efforts to correct any such problems as quickly as possible in order to maximize rental income.

In the event maintenance and repairs are necessary during months when no rental revenue is received, the OWNER's credit card will be used or the OWNER will be billed directly for such incurred expenses.

15. Philip Plaisance **TAXES:** OWNER shall be solely responsible for payment of all real estate, personal property, and other property taxes. OWNER shall be responsible for all taxes due as a result of rental income. MANAGER shall be responsible for Sales and Use Tax and Transient Rental tax due on rental proceeds collected by the MANAGER from guests. These taxes will be paid to the appropriate governmental entities by the MANAGER to ensure compliance. These taxes include the State of Mississippi Sales and Use tax, the State of Mississippi Tourism Tax, the County of Harrison Rental (Hotel) Tax liability and the City of Gulfport

Tourism Tax as associated with the use and rental of the Property as a transient accommodation.

In order to ensure prompt setup of taxes, MANAGER must receive the following prior to marketing the listing:

- Proof of property ownership
- Completed W9 for 2026

OWNER acknowledges that by renting, leasing, letting or offering a license to others to use the Property as a transient accommodation, OWNER is exercising a taxable privilege, and as such, OWNER is ultimately liable for any Sales and Use tax due the State, County, and/or City. Failure of OWNER to provide MANAGER with requested documentation including but not limited to any of the above outlined items, will result in delays or MANAGER'S inability to file necessary taxes on OWNER'S behalf, and after 2 written requests for documentation, MANAGER'S responsibility to file taxes on OWNER'S behalf will cease, unless and until reinstated.

16. Philip Plaisance **OWNER** is responsible for the renewal of a short-term rental license. Unless MANAGER is expressly designated, no more than 60 days but no less than 3 weeks from the renewal date to attempt to renew the permit on the OWNER'S behalf, the short-term rental permits. MANAGERS cannot be held liable for permit denials or shortages. (We have discussed, and I will ensure property is permitted)

17. Philip Plaisance **USE BY OWNER:** OWNER, family, and personal guests will be allowed to use the property at any time if no prior reservation by MANAGER has been made and OWNER requests and obtains confirmation of a reservation for the period in question through the MANAGER. OWNER'S account will be charged the appropriate cleaning fee unless prior payment arrangements are made with MANAGER. Security deposits are not charged to OWNER or OWNER's personal guests. OWNER assumes all liabilities associated with personal use of the property by OWNER or OWNER'S personal guests.

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OWNER and OWNER'S personal guests agree to observe the standard check-in and check-out times unless arrangements are made prior to arrival through the MANAGER. OWNER may not advertise to personally reserve the home for any paid rental guests. All paid guests must follow the reservation process through MANAGER.

18. Philip Plaisance **MAIL FORWARDING AND NOTIFICATIONS:** MANAGER is not responsible for the regular collection of mail at the property and recommends OWNER have all mail forwarded to their home address to ensure they do not miss mailed information pertinent to their properties. MANAGER will be held harmless for any repercussions arising from mail not received by the OWNER due to their neglect in forwarding mail correspondence to or appropriate address.

19. Philip Plaisance **PROPERTY OWNER RESPONSIBILITIES AND MAINTENANCE:** OWNER understands that Vision Stays, LLC is a Short-Term Rental Property Management company, and therefore deals directly with tenant/guest relations, maintenance requests pertinent to the function of the unit as a short-term rental, regularly scheduling cleanings, collecting and remitting payments, and advising property owners on strategies to increase profitability. OWNER understands Vision Stays, LLC does not replace the expertise and need for attorneys, tax consultants or maintenance professionals such as HVAC technicians, plumbers, painters, landscapers or any other service provider. OWNER agrees to perform 2 thorough inspections per year performed by either the OWNER or by expressly requesting and appointing MANAGER to do so for an additional fee to highlight property deficiencies or recommended improvements. OWNER agrees to maintain property to a standard that should meet or surpass guest/tenant expectations while preserving the integrity of the property, which must approval.

(Typically owners put \$250) (If you want approval before ANY and ALL maintenance needed put \$0) - We will also do it include regular updating of paint, furnishings/bedding, any damaged or dysfunctional systems, exterior landscaping and more at the OWNER'S expense. 250.00 is the total amount Vision Stays is allowed to spend on any maintenance needed with/clement weather prep as needed.

20. Philip Plaisance **REQUIRED INVENTORY:** In addition to furnishings, OWNER understands that they must provide (or hire Vision Stays to provide) required kitchen items, bedding, towel sets, etc. as found in the Required Inventory List Addendum attached. These items may be replaced as necessary and charged accordingly to OWNER as deductions on monthly revenue.

21. Philip Plaisance **LOSS LIABILITY:** MANAGER shall not be liable for loss of OWNER'S personal property located in rental property or rents collected resulting from theft, dishonored or uncollectible checks, bank failure, declined credit card authorizations, wind, storms, accidents or other causes or events beyond its control. MANAGER shall not be required to initiate legal actions or retain an attorney for the purpose of collection of rents, collection of damages, eviction of guests or other persons unless directed by OWNER. Collection fees and legal fees are the responsibility of the OWNER.

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22. Philip Plaisance **LIABILITY INSURANCE:** It is understood that the OWNER shall carry personal liability insurance for the property in the minimum amount of \$1,000,000 per occurrence. A copy of the policy shall be furnished by OWNER to MANAGER. OWNER agrees to indemnify and hold harmless MANAGER, Insurance Co. ICAT Policy # 23-4581199654-S-00. \*\*MANAGER highly recommends the use of Proper Insurance for property and revenue protection.

23. Philip Plaisance **SALE OF PROPERTY:** OWNER agrees to notify MANAGER in writing when property is placed on the open market for sale. OWNER agrees that property will only be shown when vacant or as coordinated through MANAGER. MANAGER may, at its sole discretion immediately terminate this agreement without notice and transfer any pending reservations to one of their other managed properties, if in the opinion of MANAGER, rental operations of the property cannot be properly coordinated with sale and showings without any adverse effect on the quiet enjoyment of rental guests. If MANAGER does not terminate this agreement, a \$50 refresh fee will be charged to OWNER after each showing. MANAGER requires at least 30-day notice of the real estate closing date and OWNER understands reservations booked past the sale of the property will NOT transfer to the new owner unless the new owner specifically solidifies their own management contract with MANAGER. In the event the property changes ownership and the new owner does NOT employ the services of MANAGER, MANAGER reserves the right to cancel or transfer future reservations to any of their represented properties. In the event MANAGER cannot accommodate future reservations within one of their represented properties, OWNER agrees to a cancellation fee equal to 25% of the gross, pre-tax rental rate of all future reservations within 3 months of the sale of the property to the MANAGER.

24. Philip Plaisance **INDEMNIFICATION - OWNER** agrees that MANAGER shall not be liable for any claim for loss, accidents, injuries or illness that occur to any person or property while on the premises or its facilities. MANAGER is not responsible for the loss of personal belongings or valuables of the OWNER, the renter or their guests. OWNER agrees that they, along with all renters/guests are expressly assuming the risk of any harm arising from their use of the premises or others whom they invite to use the premise. OWNER shall indemnify and hold harmless the MANAGER or representatives of the MANAGER from any such claim or liability, damages, injuries, costs and expenses related to acts, events or omissions occurring in, on or about the property, or arising out of, or in any way related to, MANAGER'S use or time at the property, renter's breach of any term of the rental agreement, or any work, activity or thing done, permitted or suffered by MANAGER in, on or about the property.

25. Philip Plaisance **TERMINATION OF AGREEMENT:** OWNER is advised and agrees to the following:

- OWNER or MANAGER may terminate this agreement upon 30 days prior written notice without penalty.
- MANAGER may terminate this agreement immediately upon written notice, for cause and without penalty, if OWNER fails to comply with any provision of this agreement or any term or condition of any rules or regulations MANAGER may adopt applicable to this property. MANAGER'S determination of non-compliance shall be final and binding on MANAGER and OWNER.

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• Any termination, by OWNER or MANAGER will not affect any rental reservation obligation or other obligation entered into under the terms of this agreement. OWNER must honor all reservations and/or tenants in place at time of receipt of written notice of termination. The OWNER understands and agrees that the MANAGER has incurred time and costs associated with each reservation in place at the time of termination and agrees to immediately pay to MANAGER the normal management commissions and/or fees for each reservation in place. MANAGER will work with the OWNER or alternate agency, for a period of 30 days from final contract termination date (not notice of) termination, to transfer the current reservations to the OWNER or alternate agency. The OWNER understands and agrees that no refund is due the OWNER for a commission or fee paid to the MANAGER at the time of cancellation for any reservation that chooses not to transfer and/or cancels at the time of notice of transfer or at a later date. If the OWNER prefers, and ONLY if the MANAGER is able to, MANAGER will transfer bookings to a different property comparable to the OWNER'S, in which case the OWNER would not be liable for the commissions. Any bookings the MANAGER is not able to transfer, the OWNER will still be financially liable for half of what commissions are due. If specific payment arrangements have not been made by OWNER prior to contract termination, MANAGER reserves the right to withhold any rental revenue to account for the commission fees of future bookings.

26. Philip Plaisance **BOOKKEEPING AND TAXES:** OWNER is advised and understands that MANAGER is NOT able to provide bookkeeping or tax guidance for their properties, or any other investment. MANAGER maintains and provides basic monthly statements and deposits reflecting net rental revenue into OWNER'S specified account monthly between the 15th and 20th of the month FOLLOWING the revenue period. At each year's end, MANAGER will file a 1099 for your GROSS post-tax rental revenue. It is OWNER'S responsibility (and benefit) to report the deductions of tax paid to the state, fees paid to MANAGER, expenses spent on OWNER'S property (even if expenses were paid BY MANAGER on OWNER'S behalf), and any other expenditures that are paid by MANAGER on OWNER'S behalf, or by OWNER, towards the functioning of your property as a rental. MANAGER cannot issue 1099s for the NEI value direct deposited to OWNER. OWNER is encouraged to partner with a knowledgeable CPA or bookkeeper prior to embarking on any real estate investment.

27. Philip Plaisance **NOTIFICATIONS:** Any notices to be given by either party to the other shall be in writing and shall be transmitted by either (1) personal delivery (2) mail, registered or certified, postage prepaid with return receipt requested (3) overnight delivery (4) via email with confirmation of receipt. Overnight delivery or mailed notices shall be addressed to the parties at the addresses listed below. Facsimile notices shall be transmitted to the telephone numbers listed below. Each party may change the address or telephone numbers by giving written notice in accordance with this paragraph. In the event of mailing, notice shall be deemed given on the 3rd day after deposit.

To MANAGER: To OWNER:  
Vision Stays LLC  
280 Rue Petit Bois Ste 205  
Biloxi MS 39532

28. Philip Plaisance **WAIVER** - Failure of MANAGER to enforce any provision of this agreement will not be deemed a waiver.

29. Philip Plaisance **LEGAL** - This Agreement shall be governed by and interpreted in accordance with the laws of the State of Mississippi. In any action or proceeding involving a dispute between OWNER and MANAGER arising from this agreement, the prevailing party will be entitled to reasonable attorney fees and costs incurred.

30. Philip Plaisance **ENTIRE AGREEMENT** - The foregoing constitutes the entire agreement between the parties and may be modified only in writing and signed by all parties. Each section, subsection or paragraph of this Agreement shall be deemed severable. If for any reason any portion of this Agreement is unenforceable, that portion shall not affect the applicability or validity of any other portion of this Agreement. This agreement and any modifications, including photocopies or facsimiles, may be signed in one or more counterparts, each of which will be deemed an original and all of which taken together will constitute one and the same instrument. If there is more than one renter, all renters are jointly and severally liable under this rental agreement.

**Owner Acceptance:**

**MANAGING OWNER**

Name Philip Plaisance

Address 15281 Ryan Ave City/State Prairieville, LA Zip 70769

Signature: Philip Plaisance Date: 04/08/26

**Management Acceptance:**

**VISION STAYS, LLC**

MANAGER/FOUNDER  
Tammy Eakes  
228-207-2929  
stay@visionstays.com

**OPERATIONS & OWNER SPECIALIST**

Caitlyn Myrick  
228-206-5651  
Caitlyn@visionstays.com

Signature.

Date

Documents Required  
 Completed W9  
 Copy of Insurance

**MINUTES OF APRIL 23, 2026  
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LONG BEACH PLANNING and DEVELOPMENT COMMISSION**



Policy: 23-4581199654-S-00

Effective From: 04/07/2026 To: 04/07/2027  
Declarations Effective: 04/07/2026

**Coverages and Premium**

1002 E Beach Blvd, Long Beach, MS, 39560

Premium \$4,712.00	Insurer Policy Fee \$500.00	Insurer Inspection Fee \$125.00	Installation Fee \$9.00
Surplus Lines Taxes \$213.48	Stamping Fee \$13.34	MWUA \$160.11	VE Surplus Contribution \$471.20

Minimum Earned Premium 25%	<b>Total \$6,195.13</b>	Policy Form <b>HO-3</b>
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Coverage A Dwelling \$675,000	Coverage B Other Structures \$13,500	Coverage C Personal Property \$67,500	Coverage D Loss of Use \$100,000	Coverage E Liability \$500,000	Coverage F Medical Payments \$5,000
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\*The Surplus Contribution goes toward the policyholder surplus of Victor Insurance Exchange (VE). ICAT does not make any money off of or take a percentage of this contribution. Additional details are available in your Subscription Agreement.

**Deductibles**

Named Storm Wind and Hail	3% (\$20,250) 3% (\$20,250)	All Other Perils	\$5,000
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**Discounts**

Central Station Burglar Alarm	<input checked="" type="checkbox"/> Not included	New Purchase	<input checked="" type="checkbox"/> Included
Central Station Fire Alarm	<input checked="" type="checkbox"/> Not included	Renovated Home	<input checked="" type="checkbox"/> Not included
Fully Sprinklered Home	<input checked="" type="checkbox"/> Not included	Water Mitigation	<input checked="" type="checkbox"/> Not included
Guard Gated Community	<input checked="" type="checkbox"/> Not included	Wind Mitigation	<input checked="" type="checkbox"/> Not included
HardiePlank® Siding	<input checked="" type="checkbox"/> Included		

**Endorsements**

Additional Amount of Insurance for Dwelling	Not Included	Increased Limits on Business Personal Property	\$2,500
Increased Ordinance or Law	10%	Loss Assessment	\$1,000
Part Time Rental	Included	Mold Property/Liability	\$5,000 / \$5,000
Special Personal Property	Not Included	Personal Injury	Not Included
Coverage C Increased Special Limits	Not Included	Pool and Patio Enclosure	\$5,000
Equipment Breakdown	Not Included	Service Line Interruption	Not Included
Identity Fraud Expense	Not Included	Water Back-Up	Not Included
Green Upgrades	Not Included		

After considerable discussion, Commissioner Suthoff made motion, seconded by Commissioner Brown and unanimously carried recommending to approve the application as submitted.

\*\*\*\*\*

It came for discussion under New Business a Certificate of Resubdivision for the property located at 111 Larosa Road and 0 Larosa Road, Tax Parcels 0611N-02-011.001 and 0611N-02-010.000, submitted by Patrick D. Huey, as follows:

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CITY OF LONG BEACH  
PLANNING DEPARTMENT  
201 JEFF DAVIS AVENUE  
PO BOX 929  
LONG BEACH, MS 39560  
(228) 863-1554  
(228) 863-1558 FAX

Office use only  
Date Received 3/16/26  
Zoning R-1  
Agenda Date 4/23/26  
Check Number 0974

APPLICATION FOR CERTIFICATE OF RESUBDIVISION

- I. TYPE OF CASE: CERTIFICATE OF RESUBDIVISION
- II. ADVALOREM TAX PARCEL NUMBER(S): 0611N-02-011.001 & 0611N-02-010.000
- III. GENERAL LOCATION OF PROPERTY INVOLVED: 111 LaRosa Rd  
0 LaRosa Road
- IV. ADDRESS OF PROPERTY INVOLVED: 111 LaRosa Rd ; 0 LaRosa Road
- V. GENERAL DESCRIPTION OF REQUEST: Resubdivision of 2 parcels  
Into 3 lots

VI. REQUIRED ATTACHMENTS:

- A. Resubdivision Survey and Certificate (see attached example) on no less than 11" X 17" paper.
- B. Cash or check payable to the City of Long Beach in the amount of \$375.00
- C. Proof of ownership (copy of recorded warranty deed) if applicable proof of authority to act as agent for owner.

**\*\*\*NOTE\*\*\* APPLICATION WILL NOT BE ACCEPTED WITHOUT THE ABOVE LISTED DOCUMENTS.**

VII. OWNERSHIP AND CERTIFICATION:

**READ BEFORE EXECUTING,** the applicant acknowledges that, in signing this application, all conditions and requirements inherent in the process have been fully explained and understood, including the timetable for processing the application, the completed application with all necessary documents and payments must be returned to the Planning office not later than fifteen (15) days before the 2<sup>nd</sup> or 4<sup>th</sup> Thursday of each month. Receipt of fee(s) does not constitute receipt of a completed application.

**Ownership:** I the undersigned due hereby agree to all the rules and regulations as set forth in the Long Beach Zoning Ordinance and agree to pay all fees and charges as stated.

Patrick D. Huey

Name of Rightful Owner (PRINT)

5128 Wilkerson Lane

Owner's Mailing Address

Long Beach, ms 39560

City State Zip

228-326-8972

Phone

[Signature] 3/13/26

Signature of Rightful Owner

Date

Name of Agent (PRINT)

Agent's Mailing Address

City State Zip

Phone

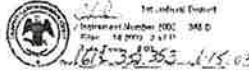
Signature of Applicant

Date

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STATE OF MISSISSIPPI  
COUNTY OF HARRISON  
FIRST JUDICIAL DISTRICT



WARRANTY DEED

FOR AND IN CONSIDERATION of the sum of Ten Dollars (\$10.00) cash in hand paid and other good and valuable consideration, the receipt and sufficiency of which is hereby acknowledged, I, the undersigned, DON RUEY, Grantor, do hereby grant, bargain, sell, convey and warrant unto PATRICK D. RUEY, the Grantee, as Joint Tenants with the right of survivorship, and not as tenants in common, fee simple title in and to the following described real property located and situated in the First Judicial District of Harrison County, Mississippi to-wit:

Lots 13, 14, 15, 16, 17 and 18, Block 5, MODEL HOME SUBDIVISION, a subdivision according to the official map or plat thereof on file and of record in the Office of the Chancery Clerk of Harrison County, First Judicial District, Mississippi, in Plat Book 7 at page 18 (Copy Book 35 at Page 311)

This being the same property previously conveyed to Don Ruey in Warranty Deed dated March 29, 2003, and recorded in Deed Book 1577 at Page 5/6 in the records of the First Judicial District of Harrison County, Mississippi

together with all improvements situated thereon and all appurtenances thereto belonging.

This conveyance is made subject to any and all recorded restrictive covenants, rights-of-way, easements and other reservations of oil, gas and mineral rights.

The above-described real property is no part of the homestead of the Grantor nor is it adjacent or contiguous thereto.

IT IS AGREED and understood that the taxes for the current year have been prorated as of this date on an estimate basis. When said taxes are actually determined if the proration as of this date is incorrect, then the Grantor agrees to pay to the Grantee, or its assigns, any deficit on an actual proration, and

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likewise, the Grantee agrees to pay to the Grantor, or its assigns, any amount overpaid by it.

WITNESS OF SIGNATURE of the undersigned Grantor, this the 16<sup>th</sup> day of January, 2003.

*Don Ruey*  
DON RUEY

STATE OF MISSISSIPPI  
COUNTY OF HARRISON

PERSONALLY appeared before me, the undersigned authority in and for said County and State, on this 16<sup>th</sup> day of January, 2003, within my jurisdiction, the within named Don Ruey, who acknowledged that he executed the above and foregoing instrument

*Shawn P. [Signature]*  
NOTARY PUBLIC  
My Commission Expires: \_\_\_\_\_

ADDRESS & PHONE NO. OF GRANTOR

Don Ruey  
190 S Beauvoir Road  
dixie, Ms 39531  
(228) 594-9744

ADDRESS & PHONE NO. OF GRANTEE

Patrick D. Ruey  
110 Stone Drive  
Long Beach, MS 38650  
(228) 326-8971

PREPARED BY & RETURN TO:

HENRY, MURRAY & TEE, P.A.  
P.O. BOX 355  
GULFPORT, MS 39002  
(601) 863-0000

MINUTES OF APRIL 23, 2026  
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LONG BEACH PLANNING and DEVELOPMENT COMMISSION

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MINUTES OF DECEMBER 13, 2007  
LONG BEACH PLANNING COMMISSION

The next agenda item was a PUBLIC HEARING for a VARIANCE request for three (3) street variances, one being three (3) feet and the other two (2) being five (5) feet each to allow less street frontage than the required seventy-five (75) feet submitted by Mr. Patrick Huey as follows:



CITY OF LONG BEACH, MISSISSIPPI  
PO BOX 929  
201 JEFF DAVIS AVENUE  
TEL: PHONE 228 663-1554  
FAX 228-865-0612  
www.ci.cityoflongbeach.ms.us



APPLICATION FOR CASE REVIEW

I. TYPE OF CASE REQUEST

- A.  Zoning Change
- B.  Planning Commission Approval
- C.  Special Exception Use
- D.  Variance Request
- E.  Change in Use
- F.  A Decision of the Building Official is Alleged to be in Error
- G.  Interpretation of the Zoning Ordinance
- H.  House Occupation (attach copy of Deed or lease)

II. Property Location: LAROSA ROAD  
 Home number and street name:

III. Statement clearly explaining the request being made for case review. (Attach supplemental pages if necessary.)

IV. Legal Description of Land Involved (Complete either A or B below.)

- A. If in a subdivision:  
MOORE HOME SUBDIVISION  
 Subdivision Name  
LOTS 12, 13, 15, 16, 17, & 18 Block 5
- B. If Not in a Subdivision: Attach a Legal Description

V. Names and Addresses of all Property Owners within 200 feet of subject land. (If bounded by street or alley, give names and mailing addresses of property directly across from the Subject Street or alley.) This information is necessary only if a Public Hearing is required.

VI. Fees: Attach a check in the amount appropriated for applicable request. This check is to be made payable to the City of Long Beach to cover administrative costs. You will also be responsible for actual costs, such as advertising and mailing incurred with the processing of your application.

VII. I, the undersigned do hereby agree to all the rules and regulations as set forth in the Long Beach Zoning Ordinance and also agree to pay all fees and charges as stated.

Name of Owner(s): Patrick D. Huey Mailing Address: 5128 W. Keason Lane Long Beach, MS

City: Long Beach, MS State: MS Zip: 39560 Telephone (H): 863.0616 Office:

Signature of Owner(s): [Signature] Date: 11.13.07 Fee: 500.00 + ADMIN FEES

NOTATION: The following attachments must be submitted with application, if applicable:

- A. Please attach a site plan showing the land area which would be affected, easements, bounding and intersecting the designated area, the location of existing and proposed structures, off-street parking and other supporting open facilities and the ground area to be provided and continuously maintained for the proposed structure or structures.
- B. Please attach a developmental schedule indicating the time schedule for the beginning and completion of development proposed in the area, if the development is placed in stages. The time schedule shall indicate the successive stages and the development planned for each stage. (FOR RE ZONING ONLY)
- C. The tables requirements for all signs is measured from the leading edge of the sign or the portion of the sign close to the property line. If requesting a variance from the setback requirements for a sign, also indicate the elevation and size of the proposed sign.
- D. Applicant must appear personally or through his/her agent at the scheduled hearing.
- E. Claims of support or "no objection" from owner(s) of adjoining property should be substantiated in writing or by the appearance of such owner(s) at the hearing. Such support is equally considered as a condition.

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VARIANCE SUPPLEMENTAL APPLICATION  
PAGE 2

Describe any special condition that justify the granting of this variance request and the peculiarities of the property and do not apply to other properties in the general area. What are the reasons for the variance and why the applicant cannot meet the stated code requirement?

We will build 3 houses 2 on 70' x 120' lots  
1 on 72' x 1500 to 1700 sq. ft.  
2 Houses on this street are 53' x 120' 1-70' x 120' 3 yrs old

Describe how the special condition discussed in #1 above is not the result of actions taken by the applicant. Show that the applicant did not cause the need for this variance request.

SEE ORIGINAL PLAT ATTACHED

Show that an unnecessary hardship exists due to the character of the property and that this hardship makes the request for the variance necessary. State what hardship is caused if the applicant is required to meet code requirements? What is the result of this hardship? What would result if the Zoning Board denied this request?

HOUSES IN THIS AREA WILL NOT  
SUPPORT HOUSE 3 TO 4 THOUSAND SQ. FT.

Show that denial of this request will deprive the applicant of rights commonly enjoyed by other properties in the general area and that the granting of this variance request will make possible the reasonable use of land while not conferring any special privilege. Outline how the subject of the variance is common in the area and if the applicant were to be denied this variance a right would be taken away which was granted to other properties. State how the variance makes reasonable use of the existing land and why the same action cannot be done in a way that does not require a variance. Show that the granting of this variance does not give the applicant any special privileges that the properties in the area would find desirable.

2 HOUSES ON 53' LOTS 1 HOUSE 70' x 120'

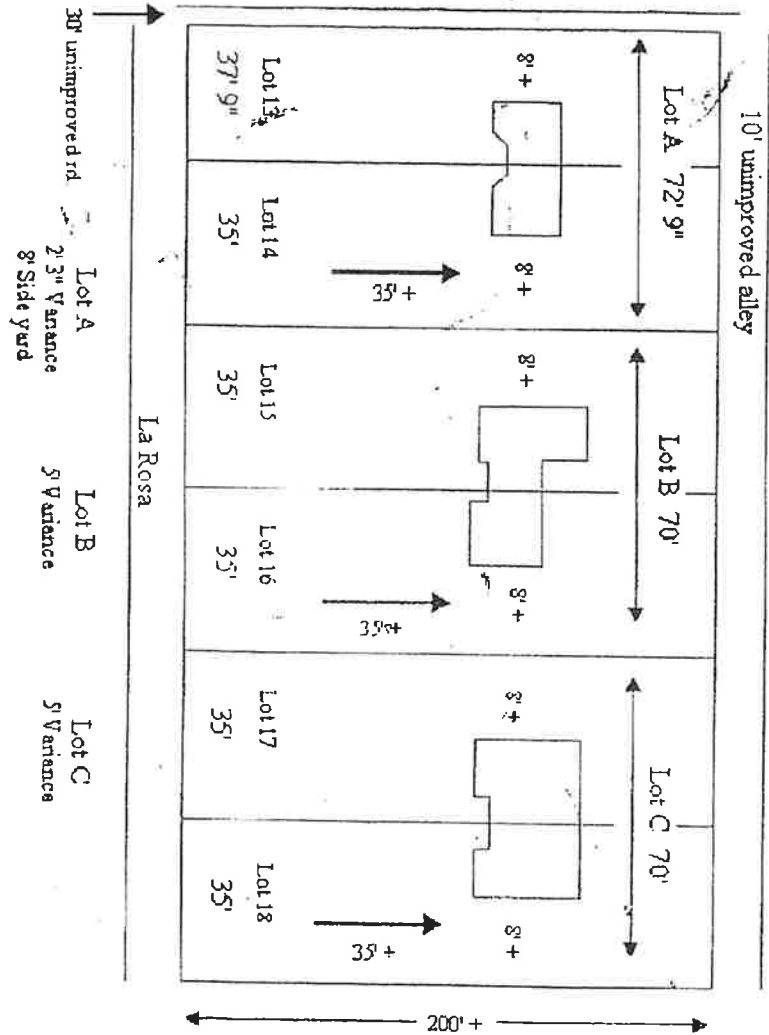
FOR HOME OCCUPATION ONLY!

I, \_\_\_\_\_ HAVE READ,  
UNDERSTAND AND AM WILLING TO COMPLY WITH ZONING  
ORDINANCE NO. 344 SECTION 912, HOME OCCUPATION.

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**MINUTES OF DECEMBER 13, 2007  
LONG BEACH PLANNING COMMISSION**

To: Long Beach Mayor and Board of Aldermen  
From: Don Huey and Pat Huey  
Re: Proposal to vacate dedicated street off of LaRosa St

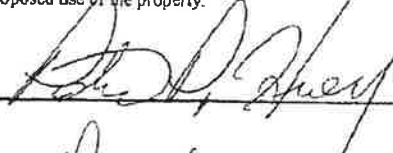
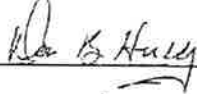
We are requesting this vacation that will enable us to build three houses on our property (lots 13-18 of Model Home subdivision)

The city engineer and the city previously had no objections to this action. We proceeded with vacating the street and all the neighbors agreed and signed on. However, Mr. Johnson called and said that he had changed his mind. Someone in city hall advised him not to do it because the way it is now, no building can be built within 48' of his property. This allows him his eight feet plus the 48' (street 30' width plus setback of 18' required.) Therefore, we withdrew our request.

We then asked for variances that would allow us to build within 8' of the dedicated street line, since the city has no intention of ever developing this street. We could then build two houses, each on 70' lots and one house on a 72' 9" lot. The zoning board refused this request because some of the neighbors feared street flooding and low cost multi-family housing (a rumor that was spread before the hearing.)

Because of this background, we proposed to Mayor Bass that we would purchase the culverts downstream of the ditch if the city would install them. He agreed to this as it would help with the flooding in the area. Therefore, we are again asking to vacate the street with the understanding that we will buy the necessary culverts that the city will install.

Please note attached area map, indicating the area involved in our request and the proposed use of the property.

  
\_\_\_\_\_  
  
\_\_\_\_\_





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MINUTES OF DECEMBER 13, 2007  
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The Clerk reported that she did cause to be published in The Sun Herald, a newspaper with a general circulation in the City of Long Beach and published in Harrison County, LEGAL NOTICE, PUBLIC HEARING, as evidence by the Publisher's Proof of Publication as follows:

PROOF OF PUBLICATION



STATE OF MISSISSIPPI  
COUNTY OF HARRISON

Before me, the undersigned Notary of Harrison County, Mississippi personally appeared Sute Garner who, being by me first duly sworn, did depose and say that she is a clerk of The Sun Herald, a newspaper published in the city Gulfport, in Harrison County, Mississippi, and the publication of the notice, a copy of which is hereto attached, has been made in said paper 1 times in the following numbers and on the following dates of such paper, viz:

- Vol. 624 No., 55 dated 27 day of Nov, 2007
- Vol. \_\_\_\_\_ No., \_\_\_\_\_ dated \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_
- Vol. \_\_\_\_\_ No., \_\_\_\_\_ dated \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_
- Vol. \_\_\_\_\_ No., \_\_\_\_\_ dated \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_
- Vol. \_\_\_\_\_ No., \_\_\_\_\_ dated \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_
- Vol. \_\_\_\_\_ No., \_\_\_\_\_ dated \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_
- Vol. \_\_\_\_\_ No., \_\_\_\_\_ dated \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_

Affiant further states on oath that said newspaper has been established and published continuously in said country for a period of more than twelve months next prior to the first publication of said notice.

NOV 29 2007

[Signature]  
Clerk

Sworn to and subscribed before me this 29 day of Nov, A.D. 2007

[Signature]  
KANDI A. BEEKLEY  
Notary Public, State of Mississippi  
HARRISON COUNTY  
My Commission Expires  
April 06, 2010  
Notary Public

Printer's Fee ..... \$ \_\_\_\_\_  
Furnishing proof of publication ..... \$ \_\_\_\_\_  
TOTAL ..... \$ \_\_\_\_\_

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The Clerk reported that twenty-one (21) notices of Public Hearing were sent by certified mail, return receipt requested, to property owners within two hundred (200) feet of the subject property. Said return receipts were ordered as part of the record of these proceedings.

City of Long Beach



LEGAL NOTICE

PUBLIC HEARING

In accordance with Article XII of the Comprehensive Zoning Ordinance (#344) of the City of Long Beach, Mississippi (1987) as amended, notice is hereby given advising that the Planning Commission for the City of Long Beach will hold a public hearing for the purpose of considering Variances.

Patrick D. Huey, 5128 Wilkerson Lane, Long Beach, Mississippi has filed an application for 3 Variances from the Comprehensive Zoning Ordinance. Applicant is requesting three street variances. One being three (3) feet and the other two being five (5) feet each, these request are to allow less street frontage than the required seventy-five (75) feet. All of the Variances are to allow for the creation of three (3) new building sites.

The property is located north of and adjacent to LaRosa Road and east of Seal Avenue. The Harrison County tax parcel numbers is 0611N-02-010.010 and 011-1. The legal description is as follows:

Lots 13, 14, 15, 16, 17 and 18, Block 5, Model Home Subdivision, a subdivision according to the official map or plat thereof on file and of record in the office of the Chancery Clerk of Harrison County, First Judicial District, Mississippi, in Plat Book 7 at page 18 (Copy Book 3A at Page 233).

The public hearing to consider the above Variances will be held in the City of Long Beach, Mississippi 39560, Thursday, December 13, 2007 at 6:30 p.m., in the Long Beach School District Administration Office located at 19148 Commission Road. The City encourages all residents, groups and organizations to contact the City if they have any questions concerning the petition.

/s/ signed  
Chairman  
Planning Commission

201 Jeff Davis • P.O. Box 929 • Long Beach, MS 39560 • 863-1556 • FAX 865-0322  
[www.cityoflongbeachms.com](http://www.cityoflongbeachms.com)

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Mr. Huey came forward to state his request.

Commission Chairman called for anyone who wished to speak in favor of the request and Harry Mathieu came forward.

Commission Chairman called for anyone who wished to speak in opposition to the request and no one came forward.

After careful consideration and discussion Commissioner Yandell made motion seconded by Commissioner Lipski and unanimously carried to close the Public Hearing.

After considerable discussion Commissioner Yandell made motion seconded by Commissioner Lipski and unanimously carried to approve the request as submitted.

\*\*\*\*\*

The next agenda item under OLD BUSINESS was Master Plan and Smart after discussion Commissioner Sweetapple made motion seconded by Commissioner Rishel and unanimously carried to reschedule the Public Hearing for the Mixed Use District to January 10, 2008 at 6:30 p.m. at 19148 Commission Road the School Administration Office.

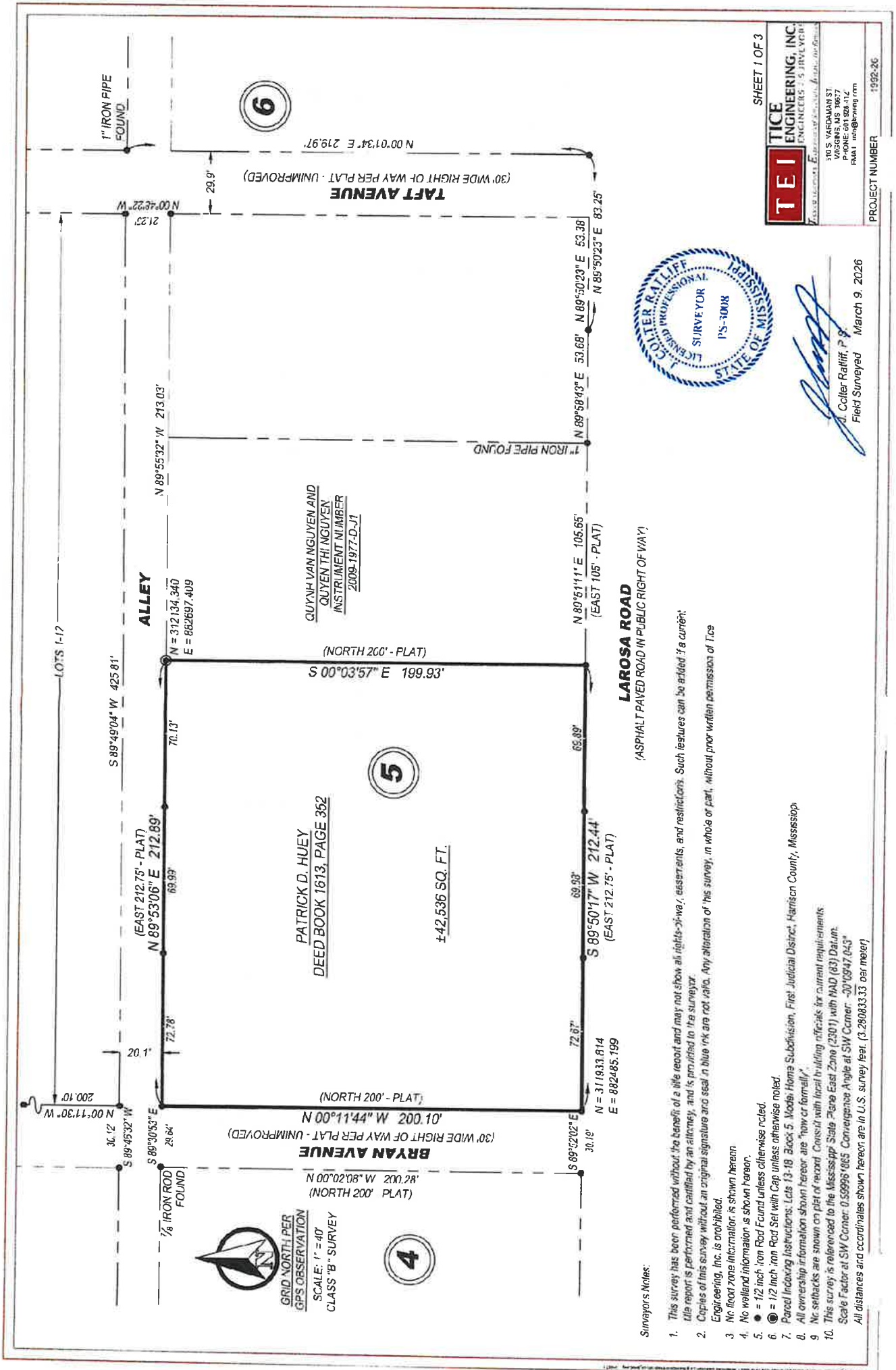
\*\*\*\*\*

Next agenda item was Zoning Ordinance #344 Section 912 Home Occupation text change. Noted for the record no action was taken.

\*\*\*\*\*

Next agenda item was Ordinance #533 Long Beach Sign Ordinance text change. After Careful and considerable discussion Commissioner Lipski made motion seconded by Commissioner Yandell and unanimously carried to amend the text in Ordinance #533 Long Beach Sign Ordinance as follows:

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MINUTES OF APRIL 23, 2026  
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**RESUBDIVISION OF LOTS  
13-18, BLOCK 5, MODEL  
HOME SUBDIVISION**

BOUNDARY DESCRIPTION PER DEED BOOK 1613, PAGE 352:

Lots 13, 14, 15, 16, 17 and 18, Block 5, Model Home Subdivision, a subdivision according to the official map or plat thereof on file and of record in the Office of the Chancery Clerk of Harrison County, First Judicial District, Mississippi, in Plat Book 7 at page 18 (Copy Book 3A at Page 233).

This being the same property previously conveyed to Don Huey in Warranty Deed dated March 28, 2002, and recorded in Deed Book 1577 at Page 576 in the records of the First Judicial District of Harrison County, Mississippi.

BOUNDARY DESCRIPTION PARCEL A AS PER SURVEY:

Lots 13 and 14, Block 5, Model Home Subdivision on file in Plat Book 7, Page 18 (Copy Book 3A, Page 233) in the Office of the Chancery Clerk, First Judicial District, Harrison County, Mississippi.

BOUNDARY DESCRIPTION PARCEL B AS PER SURVEY:

Lots 15 and 16, Block 5, Model Home Subdivision on file in Plat Book 7, Page 18 (Copy Book 3A, Page 233) in the Office of the Chancery Clerk, First Judicial District, Harrison County, Mississippi.

BOUNDARY DESCRIPTION PARCEL C AS PER SURVEY:

Lots 17 and 18, Block 5, Model Home Subdivision on file in Plat Book 7, Page 18 (Copy Book 3A, Page 233) in the Office of the Chancery Clerk, First Judicial District, Harrison County, Mississippi.

CERTIFICATE OF RESUBDIVISION:

IN ACCORDANCE WITH ARTICLE II, SECTION 3 OF THE CODE OF ORDINANCE (SUBDIVISION REGULATIONS) OF THE CITY OF LONG BEACH AS AMENDED, IT IS HEREBY CERTIFIED THAT THE LONG BEACH PLANNING COMMISSION CHAIRMAN AND LONG BEACH MAYOR AND BOARD OF ALDERMEN HAVE REVIEWED AND APPROVED THE ATTACHED FINAL PLAT. THE FOLLOWING PROPERTY HAS BEEN SUBDIVIDED FROM HARRISON COUNTY AD VALOREM TAX PARCEL # 05126-01-009.002 INTO THREE (3) NEW PARCELS. THE SUBJECT PROPERTY IS GENERALLY DESCRIBED AS BEING

CERTIFICATE OF OWNERSHIP:

I HEREBY CERTIFY THAT I AM THE OWNER OF THE PROPERTY DESCRIBED HEREON, WHICH PROPERTY IS WITHIN THE SUBDIVISION REGULATION JURISDICTION OF THE CITY OF LONG BEACH, AND THAT I FREELY ADOPT THIS PLAN OF SUBDIVISION

WITNESS MY SIGNATURE ON THIS 13 DAY OF March 2026.

OWNER

SUBSCRIBED AND SWORN TO BEFORE ME, IN MY PRESENCE, THIS 13th DAY OF March 2026, A NOTARY PUBLIC IN AND FOR THE COUNTY OF Harrison, MISSISSIPPI.



NOTARY PUBLIC

MY COMMISSION EXPIRES: Feb 14 2028

CERTIFICATE OF SURVEY AND ACCURACY:

I HEREBY CERTIFY THAT THIS MAP DRAWN BY ME OR UNDER MY DIRECT SUPERVISION FROM ACTUAL SURVEY MADE BY ME OR UNDER MY DIRECT SUPERVISION AND A DEED DESCRIPTION RECORDED IN DEED BOOK 1613, PAGE 352 IN ACCORDANCE WITH ALL APPLICABLE CODES AND ORDINANCES. WITNESS MY SIGNATURE, REGISTRATION NUMBER, AND SEAL THIS 9 DAY OF March 2026.



COLTER RATLIFF, PS 10078

CERTIFICATE OF APPROVAL:

I HEREBY CERTIFY THAT THE MINOR SUBDIVISION SHOWN ON THIS PLAT DOES NOT INVOLVE THE CREATION OF NEW PUBLIC STREETS, OR ANY CHANGE IN EXISTING PUBLIC STREETS, THE EXTENSION OF PUBLIC WATER OR SEWER SYSTEM OR THE INSTALLATION OF DRAINAGE IMPROVEMENTS THROUGH ONE OR MORE LOTS TO SERVE ONE OR MORE LOTS. THAT THE SUBDIVISION SHOWN IS IN ALL RESPECTS IN COMPLIANCE WITH THE CITY ORDINANCES OF LONG BEACH AND THAT THEREFORE THIS PLAT HAS BEEN APPROVED BY THE ADMINISTRATOR SUBJECT TO ITS BEING RECORDED IN THE HARRISON COUNTY COURTHOUSE WITHIN (60) DAYS OF THE DATE BELOW.

PLANNING COMMISSION:

APPROVED BY THE CITY OF LONG BEACH PLANNING COMMISSION AT THE REGULAR MEETING OF SAID COMMISSION HELD ON THE \_\_\_\_\_ DAY OF \_\_\_\_\_, 2026

BY: \_\_\_\_\_ PLANNING COMMISSION CHAIRMAN \_\_\_\_\_ DATE \_\_\_\_\_

ACCEPTANCE:

SUBMITTED TO AND APPROVED BY THE CITY OF LONG BEACH, BOARD OF ALDERMAN, AT THE REGULAR MEETING OF SAID COMMISSION HELD ON THE \_\_\_\_\_ DAY OF \_\_\_\_\_, 2026.

ADOPT: \_\_\_\_\_ ATTEST.

MAYOR \_\_\_\_\_ CITY CLERK \_\_\_\_\_

SHEET 3 OF 3

**TEI ENGINEERS, INC.**  
ENGINEERS / SURVEYORS  
50 S. VARDAMAN ST  
WILKINS, MS 3837  
WWW.TEIENGINEERS.COM  
EMAIL: info@teicons.com  
-KLR-C-1 NUMBER 952-278

**MINUTES OF APRIL 23, 2026  
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**Tina Dahl**

---

**From:** James Jonakin <james.jonakin@h2oinnovation.com>  
**Sent:** Friday, April 17, 2026 11:38 AM  
**To:** Tina Dahl; Joe Culpepper; Jan Berry; Michael Glass; Brian Atkinson  
**Subject:** Re: Certificate of Resubdivision, 0 and 111 Larosa Road

No action needed from Public Works.

---



**overstreeteng.com**  
 161 Lameuse St. Suite 203  
 Biloxi, MS 39530  
 228.967.7137

March 23, 2026

City of Long Beach  
 P.O. Box 929  
 Long Beach, MS 39560

**RE: Certificate of Subdivision – Tax Parcel No. 0611N-02-011.001 & 0611N-02-010.000**

Ladies and Gentlemen:

We have received a Certificate of Subdivision for the referenced property, described as a parcel of land located within the City of Long Beach, Mississippi, off Larosa Road. The submitted subdivision proposes to subdivide one existing parcel into three parcels. Proposed parcel "A" will be nearly 0.33 acres in size, with approx. 73 feet of street frontage on Larossa Road. Proposed parcel "B" will be nearly 0.33 acres in size, with approx. 70 feet of street frontage on Larosa Road. Proposed parcel "C" will be nearly 0.32 acres in size, with approx. 70 feet of street frontage on Larosa Road. Please note that a variance was submitted and approved for not meeting the minimum lot width requirements of 75 feet, as reflected in the December 13, 2007, Board of Aldermen Minutes.

The Certificate itself has all appropriate certifications and information. If approval is granted, acceptance of the subdivision should be subject to the payment of any required tapping fees or special connection fees as determined by the City's Public Works department.

Sincerely,

Tyler Yarbrough

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After considerable discussion and upon recommendation made by the City Engineer, Commissioner Suthoff made motion, seconded by Commissioner Baas, Jr. and unanimously carried recommending to approve the application as submitted.

\*\*\*\*\*

There being no further business to come before the Planning and Development Commission at this time, Commissioner Suthoff made motion, seconded by Vice Chairman Sterling and unanimously carried to adjourn the meeting until the next regular scheduled meeting in due course.

APPROVED:

\_\_\_\_\_  
Chairman David DiLorenzo

DATE: \_\_\_\_\_

ATTEST: \_\_\_\_\_

Minutes Clerk Tina M. Dahl